DOUBLE STOREY DWELLING #120C,Marco Avenue,Panania



General notes:

- All materials and work practices shall comply with all-relevant current Australian standards (as amended)
- referred to therein.

 These drawings shall be read in conjunction with all relevant structural and all other consultant's drawings/ details and with any other written instructions issued. Figured dimensions take precedence over scaled

- Figured dimensions take precedence over scaled dimensions.
 The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
 The contractor/builder is responsible for setting out and checking all levels and measurements on site.
 All dimensions and levels are to be checked and verified by the Owner/builder and any discrepancies in the documents must be resolved before ordering commencement of any works.
 Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows are to be flashed all around.
 Installation of all services shall comply with supply authority requirements.

- Installation of all services shall comply with supply authority requirements.

 The builder and subcontractor shall ensure that all stormwater drains, Sewer pipes and the like are located at a sufficient distance from any footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and under mining of any building and its footing system.

Page No.	Title
1	Coverpage
2	Basix Notes
3	Cut and Fill Plan
4	Site Plan
5	Site Plan
6	Ground Floor Plan
7	First Floor Plan
8	Roof Plan
9	Elevations
10	Side Elevations
11	Section
12	Door Schedule & SOF
13	Windows Schedule
14	Landscape Plan
15	Sediment Control Plan
16	Site Analysis
17	Shadow Analysis 20 March
18	Shadow Analysis 20 June
19	Shadow Analysis 20 Sep
20	FSR Calculation
21	Floor Finish





Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1786362S_04 Date of issue: Friday, 07 March 2025

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue





Accreditation No. DMN/13/1641

Property Address Unit 120C, 120A Marco

Avenue.PANANIA NSW,2213



Basix-Commitments

/for details: See the Basix certificate/

Alternative water

The applicant must install a rainwater tank of at least 2000 litres.

The rainwater tank to collect rain runoff from at least 50m2 of the roof.

The applicant must connect the rainwater tank to:

- all toilets in the development
- the cold water tap that supplies each clothes washer
- at least one outdoor tap in the development

Fixtures

- Shower heads 3 stars (>7.5but ≤ 9.0 L/min)
- Toilets......4 star
- Kitchen tap.....5 star
- Basin Taps.....5star

Hot Water System: Gas instantaneous with a performance of 5 stars

Heating/Cooling: In at least 1 living area and 1 bedroom: 3-phase Air-conditioning; Energy rating: EER 2.5 - 3.0 (Zoned)

Ventilation

- At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light with timer off
- Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
- Laundry: natural ventilation only, or no laundry; Operation control: n/a

Natural lighting

- The applicant must install a window and/or skylight in the kitchen of the dwelling for
- The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.

Artificial lighting:

The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

OTHER

- The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
- The applicant must install fixed outdoor clothes drying line as part of the development.

Alternative energy

- The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.
- The photovoltaic system must consist of photovoltaic collectors with the capacity to generate at least 1 peak kilowatts of electricity, installed at an angle between 10 degrees and 25 degrees to the horizontal facing north.

The Basix certificate should be read in conjunction with the Nathers certificate (including the additional notes pages 4 & 5).

Building Elements

/For Details: see the Nathers certificate

Thermal Comfort-Simulation method

A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs.

The dwelling design has been assessed with NatHERS software from an accredited assessor

External Walls

- Timber Stud Frame Brick Veneer, R2.5 Anti-glare foil with bulk no gap
- Single Skin Brick, No Insulation

Internal Wall

- Timber Stud Frame, Direct Fix Plasterboard, R2.5 Bulk Insulation, No Air Gap (Against Garage)
- Timber Stud Frame, Direct Fix Plasterboard No Insulation (All Others)

External Floor

· Waffle pod slab

Internal Floor/Ceiling.

- AAC Timber Framed Above Plasterboard R 2.5 Bulk Insulation(Above
- AAC Timber Framed Above Plasterboard No Insulation(All Others)

External Ceiling

- Plasterboard on Timber, R2.5 Bulk Insulation Unventilated roofspace(Reduced insulation near the eave in the distance of 580mm)
- Plasterboard on Timber, R5.0 Bulk Insulation Unventilated roofspace(All others/unaffected ceiling area)

Roof

• Corrugated Iron Timber Frame, R1.3 Bulk, Reflective Side Down, No Air Gap Above

Note: All coffer ceiling verticals and walls against the roof-space, to be insulated, with the same insulation as the ceiling insulation

Note: All downlights: IC-F /IC-4/ (insulation covered/ including the control gears/) rated as per AS/NZS standard 60598 and IP (sealed) rated as per BS EN 60529:1992. European IEC 60509:1989

Note: (where the roof is extended over an open area such as a deck or carport): A barrier to be installed within the roof space to separate the space above the zoned part of the house and the space above the open veranda.

Note-Ceiling fans: For the number and the location, see the Nathers certificate.

For additional information please refer to the additional notes on the Nathers certificate

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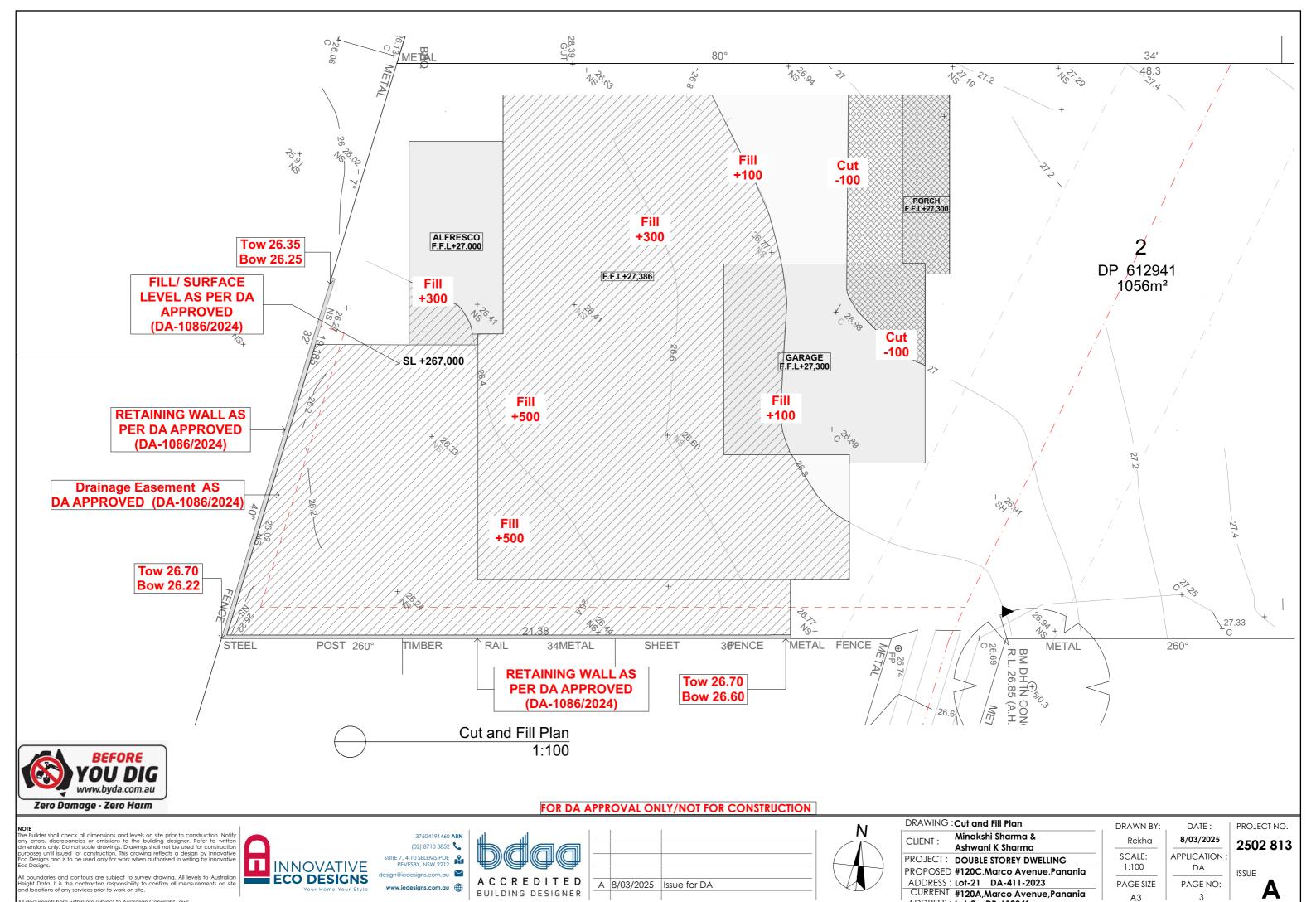
Ill boundaries and contours are subject to survey drawing. All levels leight Data. It is the contractors responsibility to confirm all measuren and locations of any services prior to work on site.







Α	8/03/2025	Issue for DA



ADDRESS : Lot-2 DP-612941

SITE CALCUALTIONS			FSR		
No.	Name	Area SQM	No	Name	Area SQM
01	Site Area	528.00	1	Ground Floor	148.66
02	Total Landscape area	149.54	2	First Floor	114.67
					263.33 m²

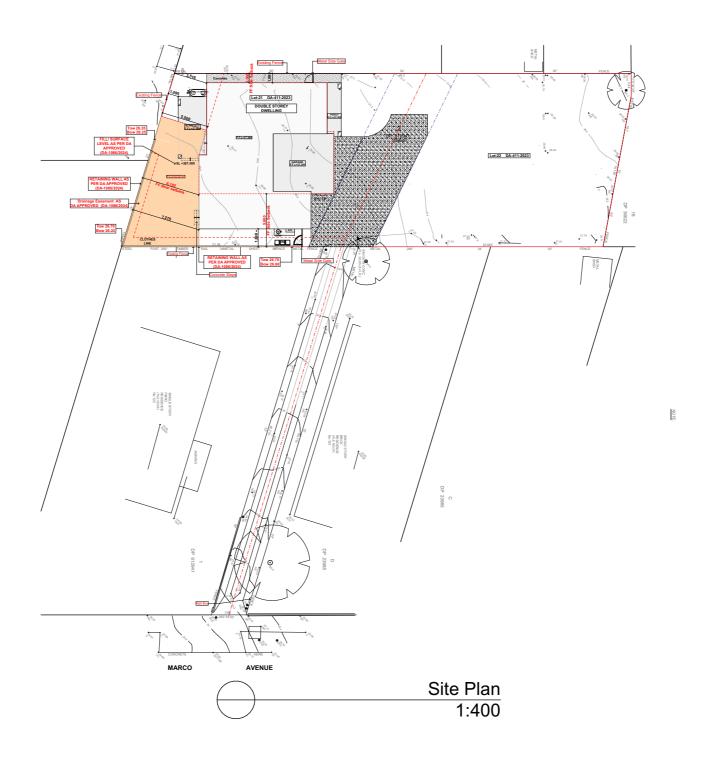


Assessor name Zoran Cvetkovski Accreditation No. DMN/13/1641

Property Address Unit 120C, 120A Marco Avenue, PANANIA

NSW,2213





SURVEY LEGEND

SURVEY LEGEND

AHD AUSTRALIAN HEIGHT DATUM
BM BENCH MARK
C EDGE OF CONCRETE
EL ENTRY LEVEL
GUT TOP OF GUTTER
INV INVERT OF PIT
4/0.2 TREE SPREAD / TRUNK DIAMETER
NS NATURAL SURFACE
RL REDUCED LEVEL
SH SPOT HEIGHT
TK TOP OF KERB
BK BOTTOM OF KERB
IP INSPECTION POINT
VC VEHICLE CROSSING
WM WATER METER
PP POWER POLE
TEL TELSTRA
HYD HYDRANT
GB GARDEN BED
BRW BOTTOM OF RETAINING WALL
TRW TOP OF RETAINING WALL

REDUCED LEVEL
SPOT HEIGHT
TOP OF KERB
BOTTOM OF KERB
INSPECTION POINT
VEHICLE CROSSING
WATER METER
POWER POLE
TELSTRA
HYDRANT
GARDEN BED
W BOTTOM OF RETAINING WALL
TOP OF RETAINING WALL

LEGEND					
Ref.img	Mark	Name			
0	S.A	Smoke Alarm (AS3786 Hard Wired to Mair			
	R.W.T	Rai	n Water Tank		
	E.M	Ele	ctric Meter		
	A/C	Air Conditioner			
	HW	Wall Mounted Hot water System			
	P.O.S	Priv	ate Open Space		
	FW	Flo	or Waste		
	MV	Mechanical Ventilation (All vent to exhaust outside).			
	ME	Mechanical Ventilation (All vent to exhaust outside).			
DRAWN BY: DATE: PROJECT NO.					



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37604191460	ABN	
(02) 8710 3852	6	
JITE 7, 4-10 SELEMS PDE REVESBY, NSW,2212	2	
ign@iedesigns.com.au	\leq	
vww.iedesigns.com.au	#	



_			
_			
_			
_	Α	8/03/2025	Issue for DA



DRAWING	Site Plan
CLIENT:	Minakshi Sharma &
CEIEITT .	Ashwani K Sharma
PROJECT:	DOUBLE STOREY DWELLING
PROPOSED	#120C,Marco Avenue,Panania
,	Lot-21 DA-411-2023
	#120A,Marco Avenue,Panania
ADDRESS:	Lot-2 DP-612941

	(All vent t	o exhaust outside).
DRAWN BY:	DATE:	PROJECT NO.
Rekha	8/03/2025	2502 813
SCALE: 1:400	APPLICATION :	ISSUE
PAGE SIZE	PAGE NO:	Δ

SITE CALCUALTIONS				FSR	
No.	Name	Area SQM	No	Name	Area SQM
01	Site Area	528.00	1	Ground Floor	148.66
02	Total Landscape area	149.54	2	First Floor	114.67
					263.33 m ²

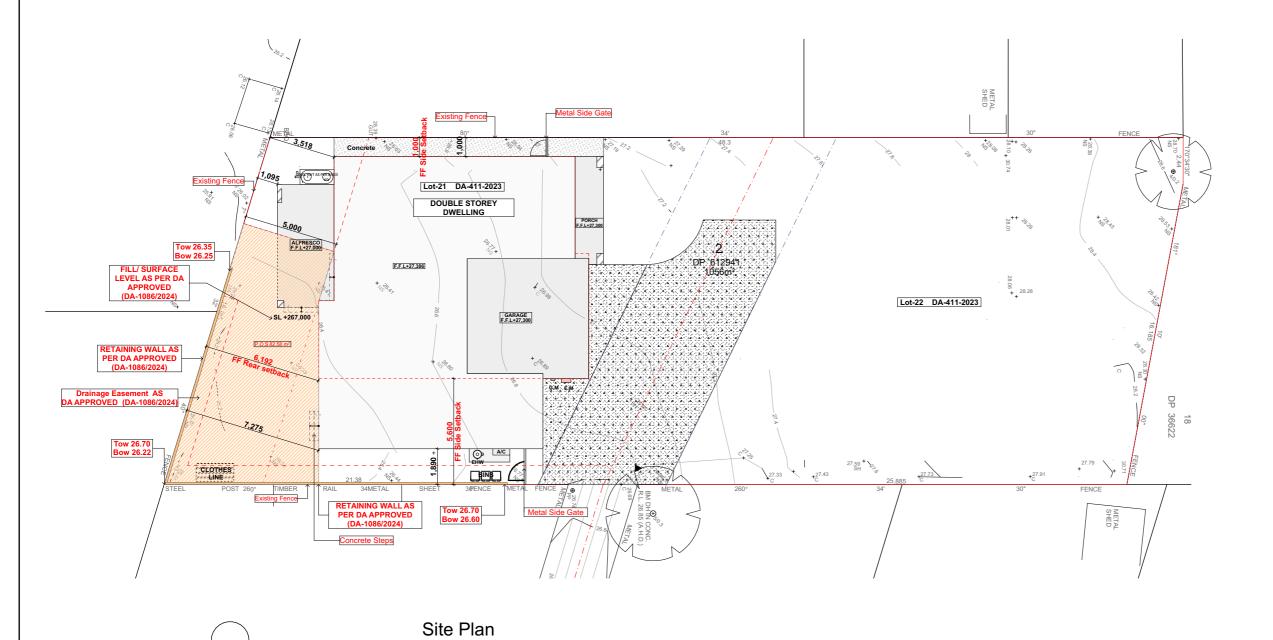


Assessor name Zoran Cvetkovski Accreditation No. DMN/13/1641

Property Address Unit 120C, 120A Marco Avenue, PANANIA

NSW,2213





SURVEY LEGEND

AHD AUSTRALIAN HEIGHT DATUM
BM BENCH MARK
C EDGE OF CONCRETE
EL ENTRY LEVEL
GUT TOP OF GUTTER
INV INVERT OF PIT

4/0.2 TREE SPREAD / TRUNK DIAMETER
NS NATURAL SURFACE
RL REDUCED LEVEL
SH SPOT HEIGHT
TK TOP OF KERB
BK BOTTOM OF KERB
IP INSPECTION POINT
VC VEHICLE CROSSING
WM WATER METER
PP POWER POLE
TEL TELSTRA
HYD HYDRANT
GB GARDEN BED
BRW BOTTOM OF RETAINING WALL
TRW TOP OF RETAINING WALL

SURVEY LEGEND

TOP OF RETAINING WALL

LEGEND				
Ref.img	Mark	Name		
0	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)		
	R.W.T	Rain Water Tank		
	E.M	Electric Meter		
	A/C	Air Conditioner		
	HW	Wall Mounted Hot water System		
	P.O.S	Private Open Space		
	FW	Floor Waste		
\boxtimes	MV	Mechanical Ventilation (All vent to exhaust outside).		
\times	ME	Mechanical Ventilation (All vent to exhaust outside).		
DRAWN BY: DATE: PROJECT NO.				

BEFORE YOU DIG www.byda.com.au Zero Damage - Zero Harm

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1:200



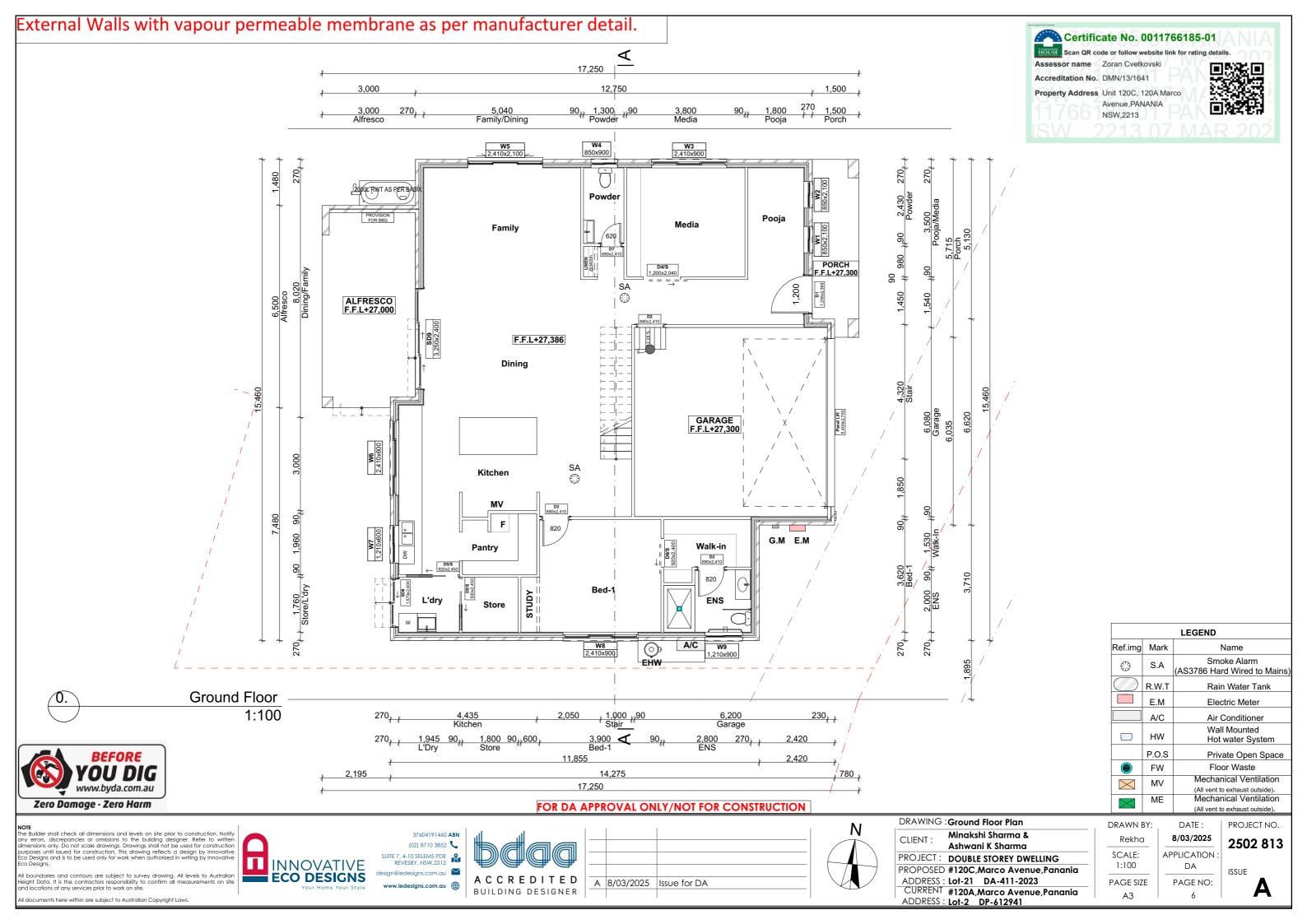
Α	8/03/2025	Issue for DA	



	RAWING:	Site Plan	
	CLIENT :	Minakshi Sharma &	
	LILINI .	Ashwani K Sharma	
P	ROJECT:	DOUBLE STOREY DWELLING	
P	ROPOSED	#120C,Marco Avenue,Panania	
		Lot-21 DA-411-2023	
	CURRENT	#120A,Marco Avenue,Panania	
. ,	<u> ADDRESS :</u>	Lot-2 DP-612941	

	(All vent to	o exhaust outside).
RAWN BY:	DATE :	PROJECT NO.
Rekha	8/03/2025	2502 813
SCALE: 1:200	APPLICATION : DA	ISSUE
PAGE SIZE	PAGE NO:	Δ

SSUE





Certificate No. 0011766185-01

Accreditation No. DMN/13/1641

Property Address Unit 120C, 120A Marco Avenue, PANANIA

NSW,2213



Ref.img Mark Name Smoke Alarm S.A AS3786 Hard Wired to Mains R.W.T Rain Water Tank E.M A/C Air Conditioner Wall Mounted HW Hot water System P.O.S Private Open Space FW Floor Waste Mechanical Ventilation MV (All vent to exhaust outside). Mechanical Ventilation

LEGEND



1:100

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esign@iedesigns.com.au	${\smile}$
www.iedesigns.com.au	(1)



Α	8/03/2025	Issue for DA



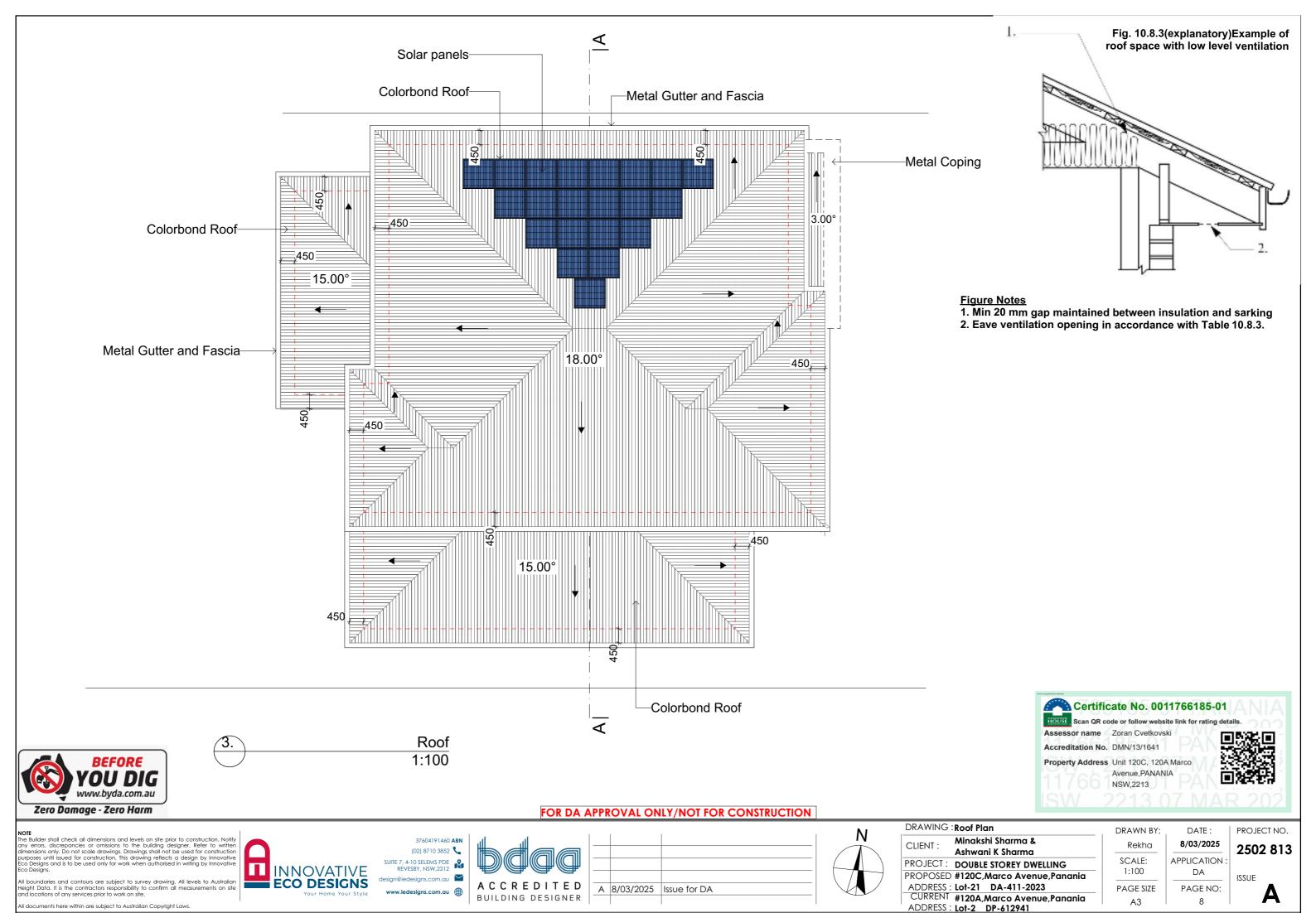
DRAWING	First Floor Plan
CLIENT:	Minakshi Sharma &
OLILI II .	Ashwani K Sharma
PROJECT:	DOUBLE STOREY DWELLING
PROPOSED	#120C,Marco Avenue,Panania
ADDRESS:	Lot-21 DA-411-2023
CURRENT	#120A Marco Avenue Panania

ADDRESS: Lot-2 DP-612941

		(All vent t	to exhaust outside).
	DRAWN BY:	DATE:	PROJECT NO.
	Rekha	8/03/2025	2502 813
	SCALE: 1:100	APPLICATION :	ISSUE
I	PAGE SIZE	PAGE NO:	Δ

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Zero Damage - Zero Harm



First floor windows to touch the eaves.



9m (max building height) Ridge +35,481 Colorbond Roof-7m (max wall height) Metal Gutter and Fascia-Roof +33,441 Aluminium Windows--Colorbond Roof Face Brick Wall-Metal Gutter Colorbond Roofand Fascia Metal Gutter and Fascia-First +30,701 +30,326 Brick Pier SD9 Ground +27,386 +26,700 +26,600 Existing Ground_ Level

2

West Elevation (Rear)

1:100

Certificate No. 0011766185-01

Assessor name Zoran Cvetkovski
Accreditation No. DMN/13/1641

Property Address Unit 120C, 120A Marco Avenue, PANANIA

Avenue,PANANI NSW,2213



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Α	8/03/2025	Issue for DA

DRAWING : Elevations	. D
CLIENT : Minakshi Sharma &	
Ashwani K Sharma	-
PROJECT: DOUBLE STOREY DWELLING	;
PROPOSED #120C,Marco Avenue,Panania	_
ADDRESS: Lot-21 DA-411-2023	P
CURRENT #120A,Marco Avenue,Panania	

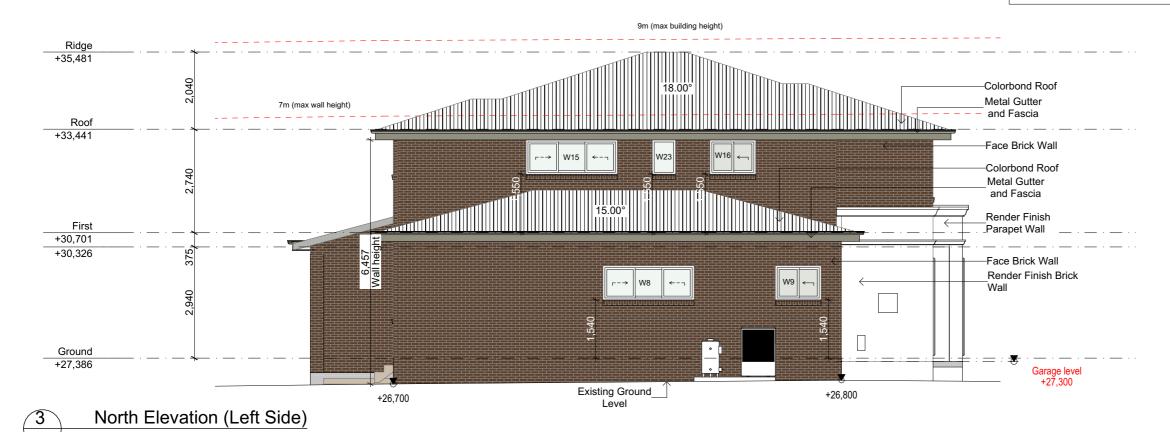
ADDRESS : Lot-2 DP-612941

DRAWN BY:	DATE:
Rekha	8/03/2025
SCALE: 1:100	APPLICATION :
PAGE SIZE	PAGE NO:

PROJECT NO. **2502 813**



First floor windows to touch the eaves.





Certificate No. 0011766185-01 Assessor name Zoran Cvetkovski Accreditation No. DMN/13/1641 Property Address Unit 120C, 120A Marco

Avenue, PANANIA NSW,2213

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_A	8/03/2025	Issue for DA

DRAWING : Side Elevations	DI
CLIENT : Minakshi Sharma &	
Ashwani K Sharma	_
PROJECT: DOUBLE STOREY DWELLING	S
PROPOSED #120C,Marco Avenue,Panania	_
ADDRESS: Lot-21 DA-411-2023	P
CURRENT #120A,Marco Avenue,Panania	

ADDRESS : Lot-2 DP-612941

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Section A



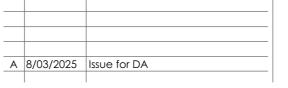
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DR	AWING:	Section	
	IFNT :	Minakshi Sharma &	_
		Ashwani K Sharma	_
PR	OJECT :	DOUBLE STOREY DWELLING	_
PR	OPOSED	#120C,Marco Avenue,Panania	
		Lot-21 DA-411-2023	_
C	URRENT	#120A,Marco Avenue,Panania	_
Al	DDRESS :	Lot-2 DP-612941	

DRAWN BY: DATE: PROJECT NO. 8/03/2025 Rekha 2502 813 APPLICATION SCALE: 1:100 DA ISSUE PAGE SIZE PAGE NO: А3 11

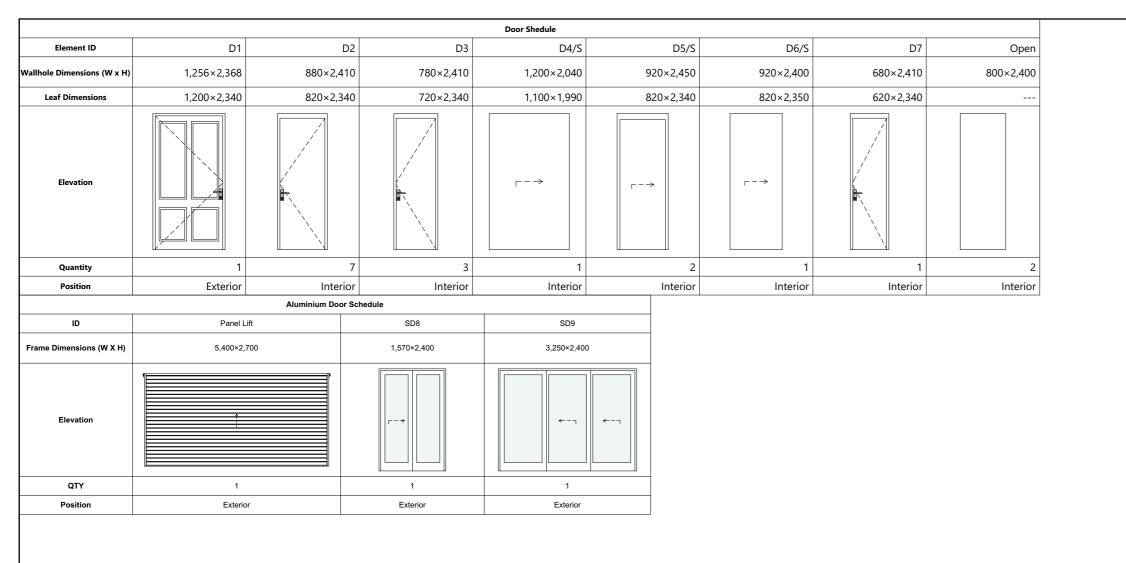
Certificate No. 0011766185-01

Avenue, PANANIA NSW,2213

Assessor name Zoran Cvetkovski Accreditation No. DMN/13/1641

Property Address Unit 120C, 120A Marco

Scan QR code or follow website link for rating details.



SCHEDULE OF FINISHES COLOUR **SPECIFICATION ELEMENT Austral Bricks-**Walls **Everyday Life-**Freedom Window White Colourbond Roof Dune Gutter Colourbond Dune Colourbond Fascia Dune

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	_		
D R	_A	8/03/2025	Issue for DA

DRAWING : Door Schedule & SOF Minakshi Sharma & CLIENT: Ashwani K Sharma PROJECT: DOUBLE STOREY DWELLING PROPOSED #120C,Marco Avenue,Panania ADDRESS: Lot-21 DA-411-2023 CURRENT #120A, Marco Avenue, Panania A3

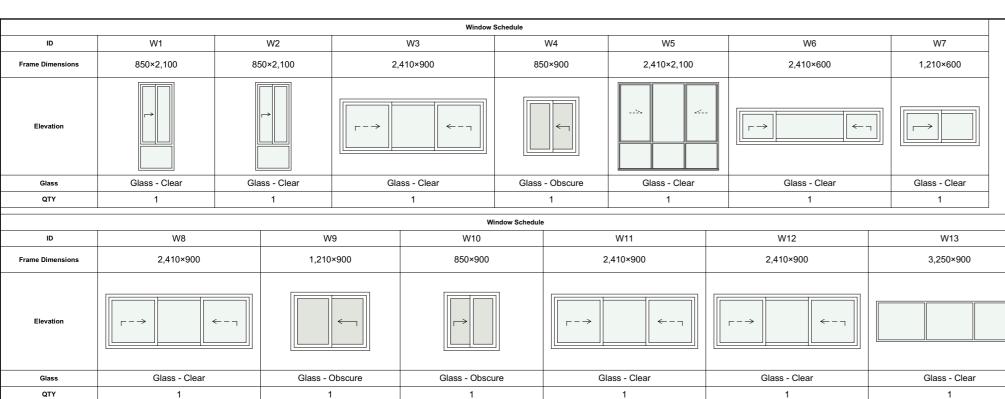
ADDRESS : Lot-2 DP-612941

DRAWN BY: DATE: 8/03/2025 Rekha APPLICATION SCALE: DA PAGE SIZE PAGE NO:

12

PROJECT NO. 2502 813

ISSUE



	•	· ·	·	·	<u>'</u>	<u> </u>
			Window Schedule			
ID	W14	W15	W16	W17	W18	W19
Frame Dimensions	610×900	2,410×900	1,210×900	850×1,500	850×1,500	850×1,500
Elevation				obscure		
Glass	Glass - Obscure	Glass - Clear	Glass - Obscure	Glass - Clear	Glass - Clear	Glass - Clear
QTY	1	1	1	1	1	1

	Window Schedule			
ID	W20	W21	W22	W23
Frame Dimensions	850×1,500	850×1,500	850×1,500	610×900
Elevation		ebscure glass	obscure glass	
Glass	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Clear
QTY	1	1	1	1

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 8/03/2025	Issue for DA

TO BE CHECKED AND CONFIRMED BY BUILDER ON SITE BEFORE LACING ORDER.

PLACING ORDER.
-FALL PREVENTION FROM WINDOWS
-WINDOWS TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF NCC 2022 vol. 2 part 11.3.7
1- If Opening withing 1700mm above the floor; and climable elements between 150 and 750 mM above the floor, opening must be permanently restricted to 125mm; or fitted withn a non-removable robust screen.
2-If opening between 865 and 1700mm above the floor; and no climable elements between 150 and 760mm bove the floor, opening must be restricted to 125mm; or fitted with a removable robust screen.
3- If opening between 865 of the floor; and climable elements between 150 and 760mm above the floor; and climable elements between 150 and 760mm above the floor; and climable elements between 150 and 760mm above the floor; and climable elements between 150 and 760mm above the floor; and climable removable robust

150 and 760mm above the floor;or fitted with a non-removable robus

4-If no opening within 1700mm of the floor. No restrictions apply.

Part 11.3.7 Protection of openable windows - bedrooms (1) A window opening in a bedroom must be provided with protection, where the floor below the window is 2 m or more above the surface

2) Where the lowest level of the window opening covered by (1) is less han 1.7 m above the floor, the window opening must comply with the

a) The openable portion of the window must be protected withi) a device capable of restricting the window opening; or
ii) a screen with secure fittings.
b) A device or screen required by (a) must—
i) not permit a 125 mm sphere to pass through the window opening or

i) resist an outward horizontal action of 250 N against the-A) window restrained by a device; or B) screen protecting the opening; and ii) have a child resistant release mechanism if the screen or device is ble to be removed, unlocked or overridden.

(3) Where a device or screen provided in accordance with (2)(a) is able to be removed, unlocked or overridden, a barrier with a height not less than 865 mm above the floor is required to the openable window in addition to window protection.

) A barrier covered by (3) must not-) permit a 125 mm sphere to pass through it; and

(b) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing.

11.3.8 Protection of openable windows - rooms other than bedrooms (1) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above

the surface beneath.
(2) The openable part of the window covered by (a) must be protected with a barrier with a height of not less than 865mm above the floor.
(3) A barrier required by (b) must not(a) permit a 125 mm sphere to pass through it; and
(b) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing.

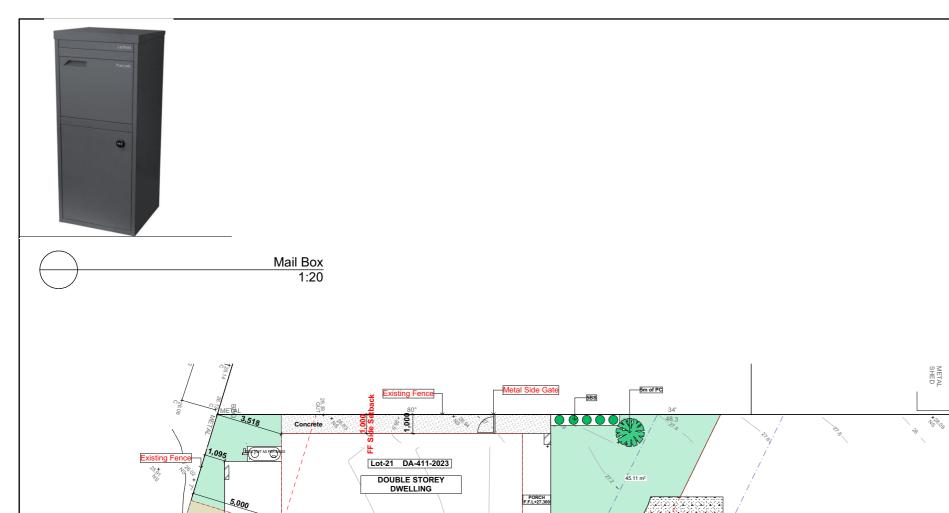


Property Address Unit 120C, 120A Marco Avenue, PANANIA

NSW,2213



DRAWING : Windows Schedule DRAWN BY: DATE: PROJECT NO. Minakshi Sharma & 8/03/2025 Rekha CLIENT: 2502 813 Ashwani K Sharma SCALE: APPLICATION PROJECT: DOUBLE STOREY DWELLING DA PROPOSED #120C, Marco Avenue, Panania ISSUE ADDRESS: Lot-21 DA-411-2023 PAGE SIZE PAGE NO: CURRENT #120A,Marco Avenue,Panania A3 13 ADDRESS : Lot-2 DP-612941

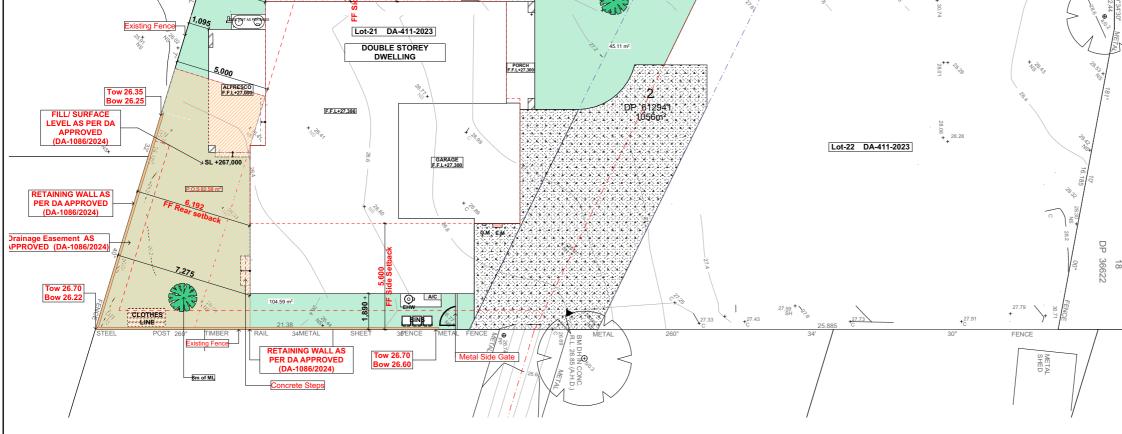




Ref.img Name Tree Shrub Grass (Landscape Area) Aggregate

GE:- GARDEN EDGING AS SELECTED TREATED PINE SPLITS 90 MM 2.4 MT LENGTH, FASTENED TO HARWOOD STAKES, MIMIMUM DEPTH IN GROUND OF 300 MM WITH GALVANISED TREATED PINE SCREWS (SIZE 75 MM X 8G)

LAWN:- BUFFALO WITH SHIRLEYS NO.17 FERTILISER ALL PLANTS TO HAVE 35 MM OF BARK CHIP MULCH SPREAD OVER TOP SOIL TURF TO BE WATERED MORNING AND EVENING FOR A PERIOD OF TWO WEEKS OR AD NECESSARY.



Certificate No. 0011766185-01 Scan QR code or follow website link for rating details.

Assessor name Zoran Cvetkovski Accreditation No. DMN/13/1641

Property Address Unit 120C, 120A Marco

Avenue, PANANIA NSW,2213

BEFORE YOU DIG www.byda.com.au Zero Damage - Zero Harm

Landscape Plan

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NOTE
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1:200



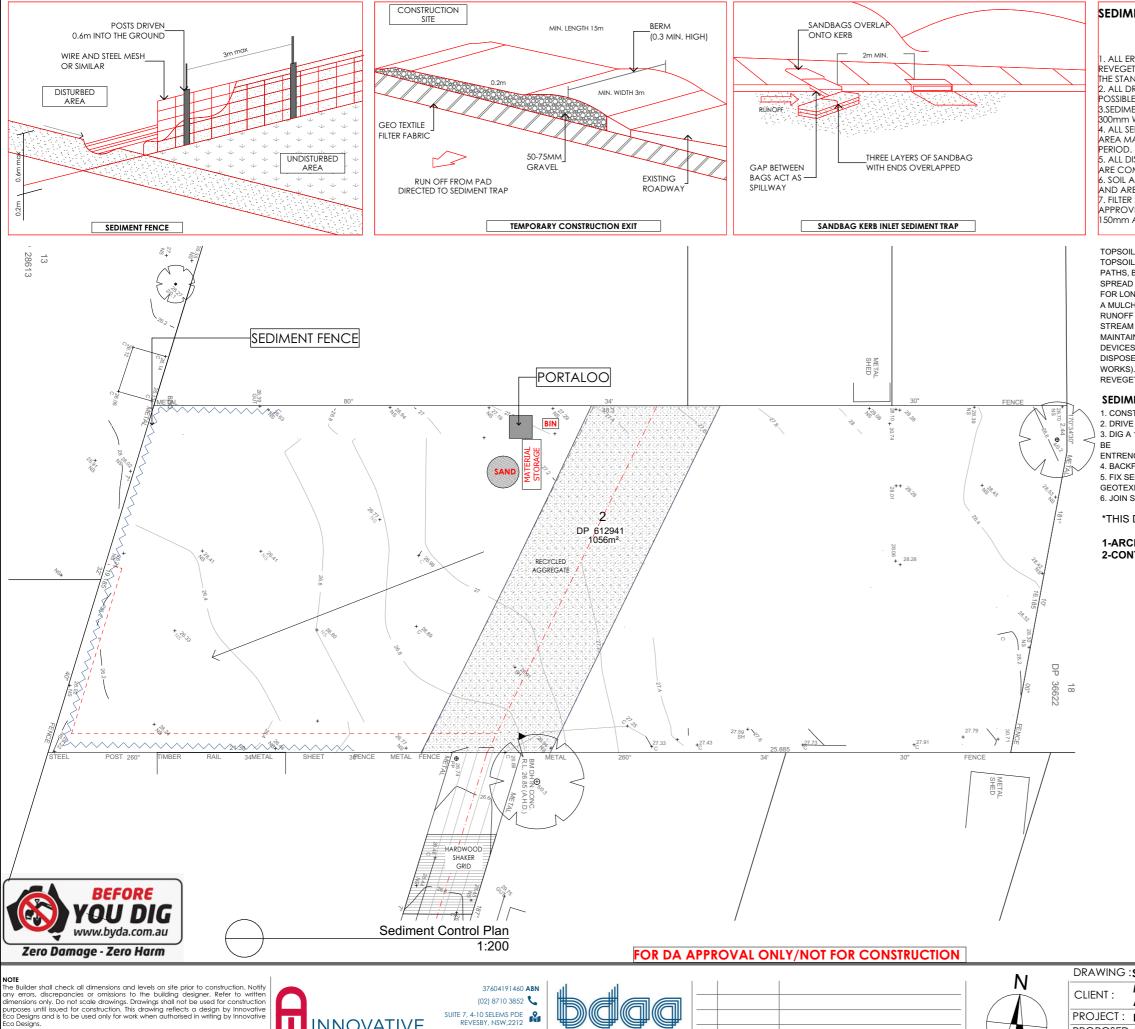
Α	8/03/2025	Issue for DA	



			_
DRAWING	:Landscape Plan		
CLIENT:	Minakshi Sharma &		
CLILIVI .	Ashwani K Sharma		
PROJECT:	DOUBLE STOREY DW	ELLING	
PROPOSED	#120C,Marco Aven	ue,Panania	
	Lot-21 DA-411-20		
CURRENT	#120A,Marco Aven	ue,Panania	
A D D D E C C .		'	

ADDRESS : Lot-2 DP-612941

DRAWN BY:	DATE:	PROJECT NO.
Rekha	8/03/2025	2502 813
SCALE: 1:200	APPLICATION :	ISSUE
PAGE SIZE	PAGE NO:	Λ
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SEDIMENT CONTROL NOTES

- 1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- 3.SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH. 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES
- AREA MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE
- 5. ALL DISTURBED AREAS SHALL BE REVEGITATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- 6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES
- AND AREA WHERE WATER MAY CONCENTRATE.
 7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER

TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RE-SPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (i.e ALL FOOT-PATHS, BATTERS, SITE, REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS). TOP SOIL SHALL NOT BE SPREAD ON ANY OTHER AREAS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM FROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY. BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINSDOWN STREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. (NO SILT SHALL BE PLACED OUTSIDE THE LIMITS OF WORKS) THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST LINTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL

SEDIMENT NOTES

- 1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE AND PARALLEL TO THE CONTOURS OF THE SITE. 2. DRIVE 1.5 m LONG STAR PICKETS INTO GROUND Max 3 m Ctrs.
- 3. DIG A 150 mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO
- ENTRENCHED.
- 4. BACKFILL TRENCH OVER BASE OF FABRIC.
- 5. FIX SELF SUPPORTING GEOTEXILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXILE MANUFACTURER
- 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A Min LAP OF 150 mm.
- *THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING:
- **1-ARCHITECTURAL PLANS** 2-CONTOUR AND DETAIL SURVEY

Certificate No. 0011766185-01 Scan QR code or follow website link for rating details

Assessor name Zoran Cvetkovski Accreditation No. DMN/13/1641

Property Address Unit 120C, 120A Marco

Avenue, PANANIA NSW,2213



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A	8/03/2025	Issue for DA

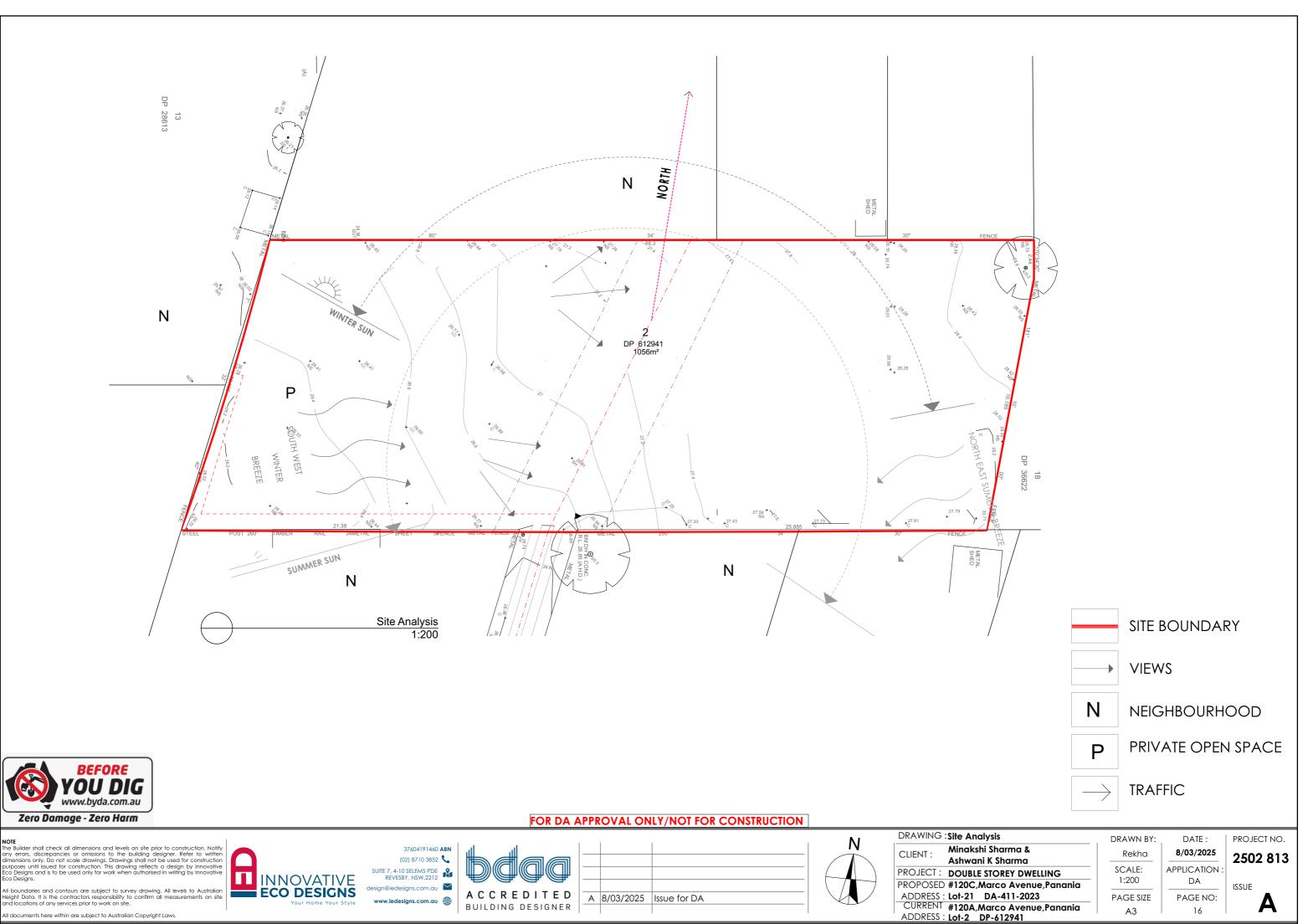


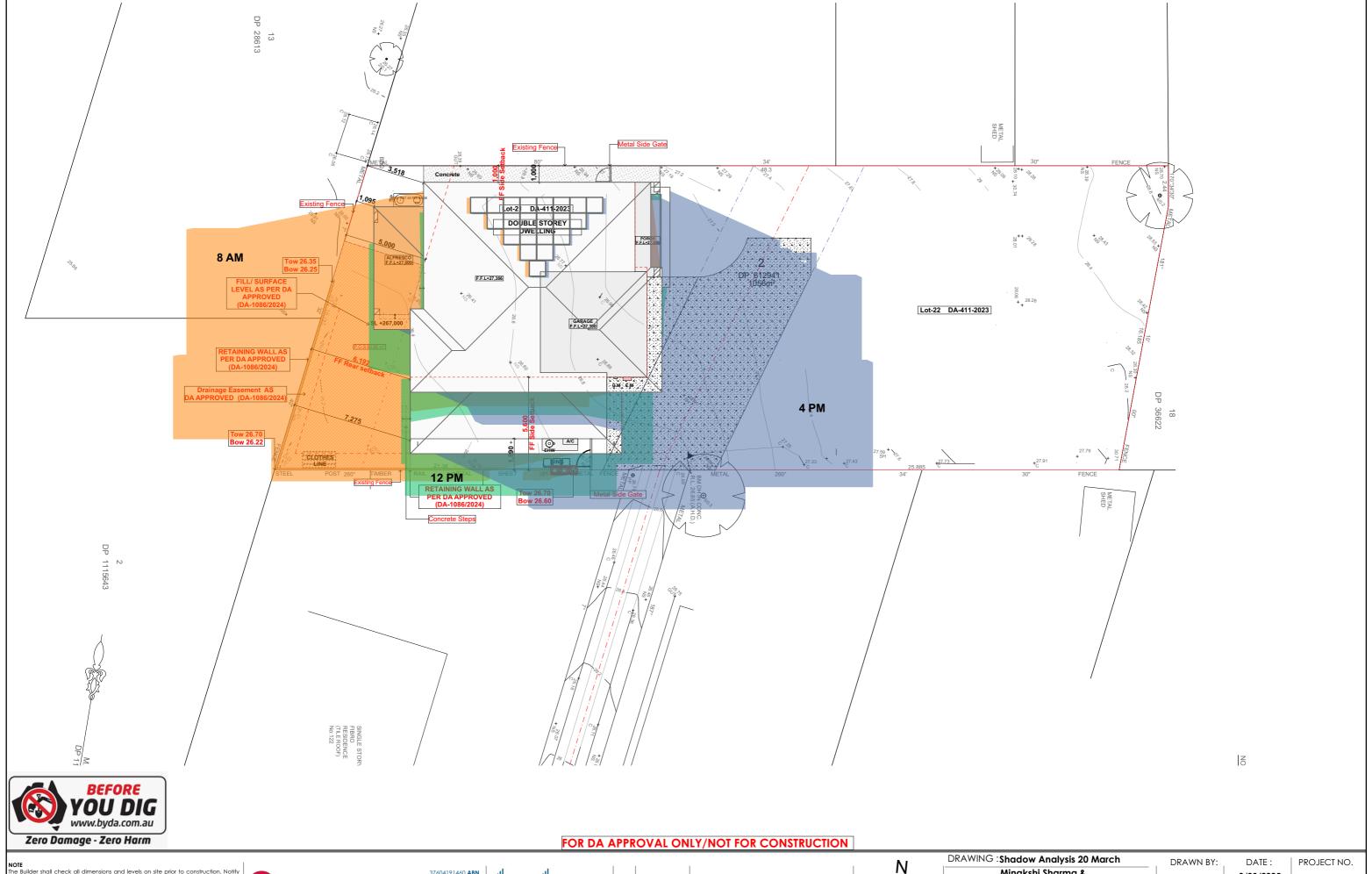
DRAWING:	Sediment Control Plan
CLIENT :	Minakshi Sharma & Ashwani K Sharma
PROJECT:	DOUBLE STOREY DWELLING
PROPOSED	#120C,Marco Avenue,Panania
	Lot-21 DA-411-2023
CURRENT	#120A, Marco Avenue, Panania

ADDRESS: Lot-2 DP-612941

DRAWN BY: DATE: 8/03/2025 Rekha SCALE: APPLICATION 1:200 DA PAGE SIZE PAGE NO: 15 А3

PROJECT NO. 2502 813 ISSUE





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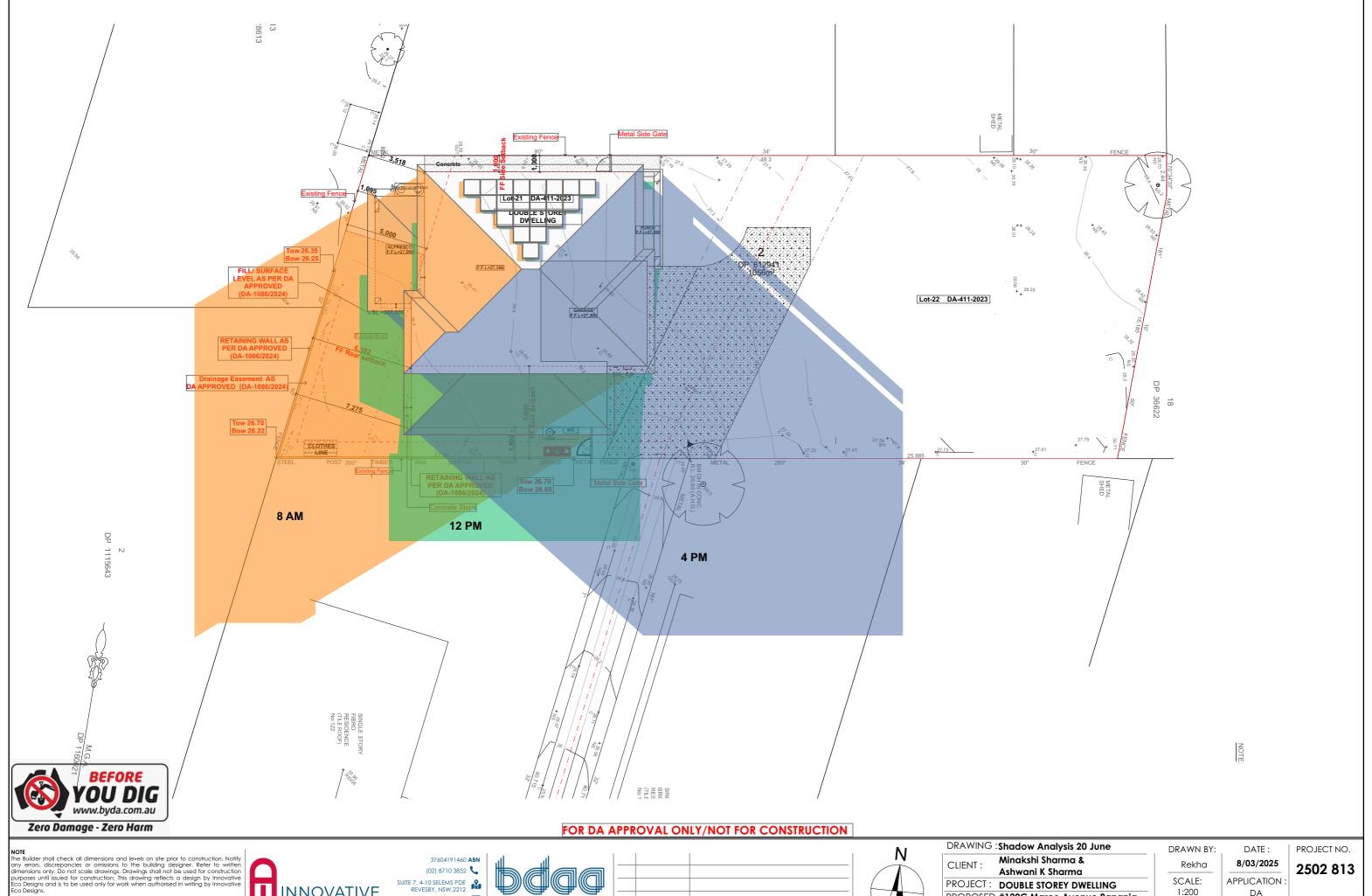
l			
A	8/03/2025	Issue for DA	



	DRAWING	:Shadow Analysis 20 March	
	CLIENT:	Minakshi Sharma & Ashwani K Sharma	_ _
	PROJECT :	DOUBLE STOREY DWELLING	_
	PROPOSED	#120C,Marco Avenue,Panania	_ .
		: Lot-21 DA-411-2023	
	CURRENT	#120A,Marco Avenue,Panania	_
_	ADDRESS :	Lot-2 DP-612941	

8/03/2025 Rekha 2502 813 APPLICATION SCALE: 1:200 DA PAGE SIZE PAGE NO: 17 А3

ISSUE

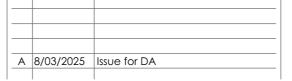


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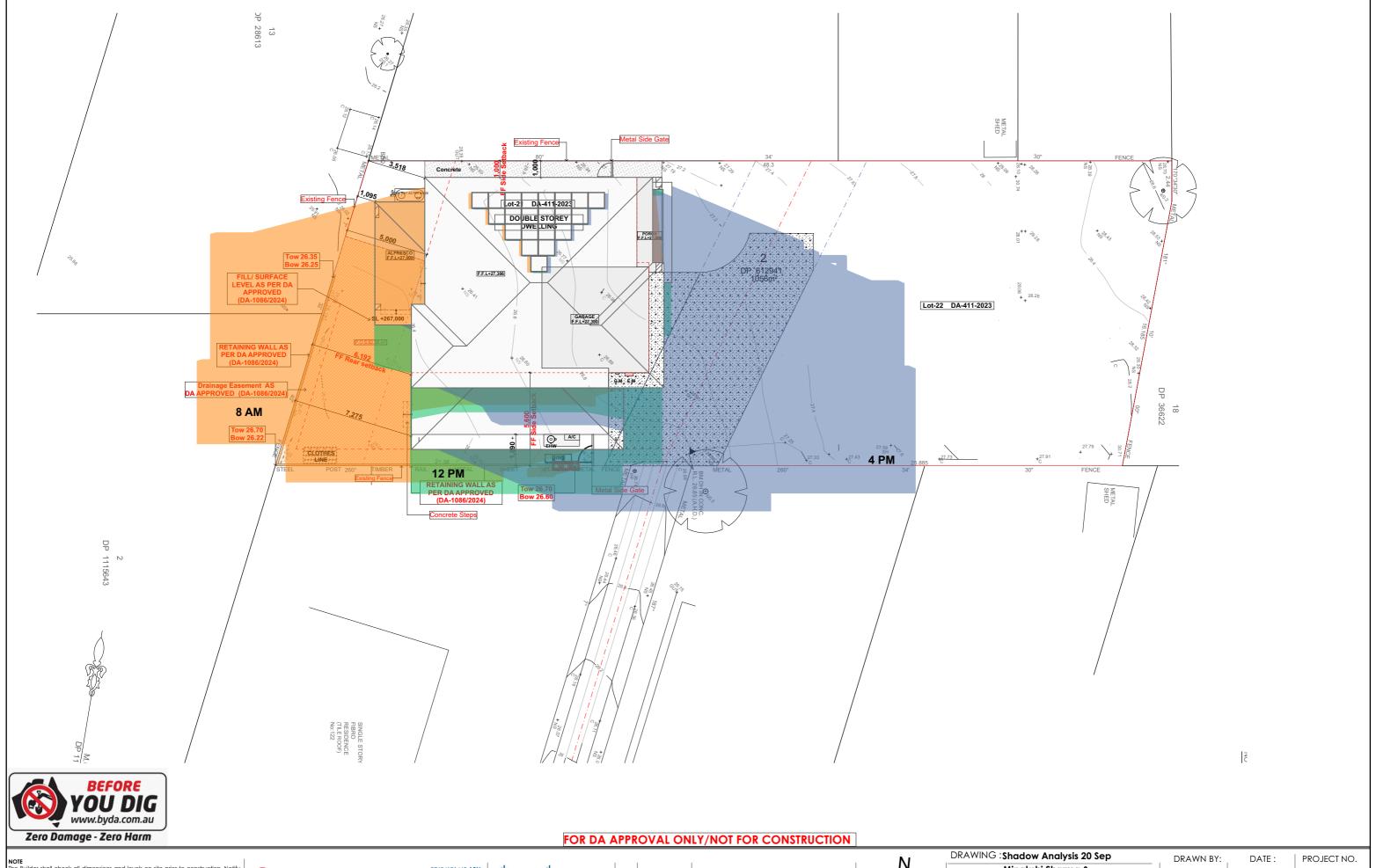




DRAWING	Shadow Analysis 20 June	D
CLIENT:	Minakshi Sharma &	
02.2	Ashwani K Sharma	_
PROJECT :	DOUBLE STOREY DWELLING	
PROPOSED	#120C,Marco Avenue,Panania	_
	Lot-21 DA-411-2023	Р
CURRENT	#120A,Marco Avenue,Panania	
ADDRESS:	Lot-2 DP-612941	

1:200 DA PAGE SIZE PAGE NO: 18 А3

ISSUE



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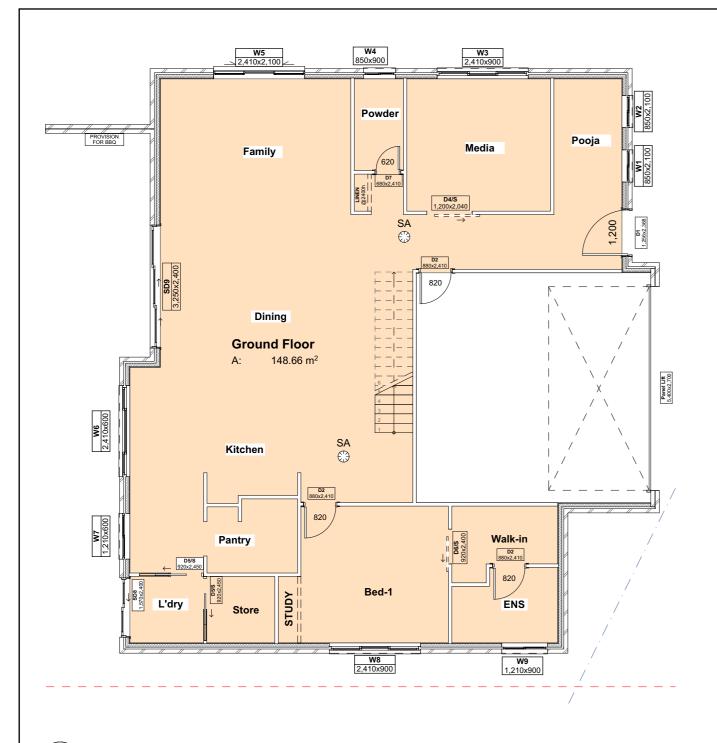


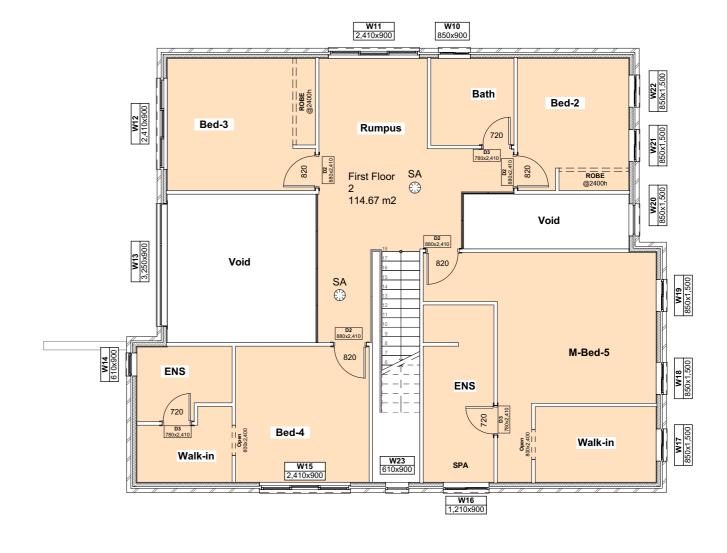
Α	8/03/2025	Issue for DA



	DRAWING	:Shadow Analysis 20 Sep	
	CLIENT:	Minakshi Sharma &	
	CLILITI .	Ashwani K Sharma	-
	PROJECT:	DOUBLE STOREY DWELLING	
	PROPOSED	#120C,Marco Avenue,Panania	_
		: Lot-21 DA-411-2023	F
	CURRENT	#120A,Marco Avenue,Panania	
_	ADDRESS :	: Lot-2 DP-612941	

2502 813





GFA-First Floor 1:100

GFA-Ground Floor 1:100



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A	8/03/2025	Issue for DA



DRAWING:	FSR Calculation	
CLIENT:	Minakshi Sharma &	
CLILINI .	Ashwani K Sharma	
PROJECT:	DOUBLE STOREY DWELLING	
PROPOSED	#120C,Marco Avenue,Panania	
	Lot-21 DA-411-2023	
CURRENT	#120A,Marco Avenue,Panania	
ADDRESS:	Lot-2 DP-612941	

DRAWN BY: DATE: PROJECT NO. 8/03/2025 Rekha 2502 813 SCALE: APPLICATION 1:100 DA PAGE SIZE PAGE NO: 20 Α3

ISSUE



Powder 3.16 m² Pooja Media Family PORCH F.F.L+27,300 8.15 m² SA 0 ALFRESCO F.F.L+27,000 820 F.F.L+27,386 18.33 m² Dining ---37.82 m² 133.50 m² GARAGE F.F.L+27,300 **W6** 2,410x600 SA Kitchen (820 **W7** 1,210x600 Walk-in **Pantry** 820 Bed-1 L'dry ENS 3.46 m² 5.05 m² **W8** 2,410x900 **W9** 1,210x900

W4 850x900

W5 2,410x2,100

W3 2,410x900

Floor Finish- First Floor 1:100

Floor Flnish- Ground Floor



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ign@iedesigns.com.au	\succeq	
www.iedesigns.com.au	#	



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_A	8/03/2025	Issue for DA	\



DRAWING : Floor Finish	DR
CLIENT: Minakshi Sharma &	
Ashwani K Sharma	_
PROJECT: DOUBLE STOREY DWELLING	S
PROPOSED #120C,Marco Avenue,Panania	_
ADDRESS: Lot-21 DA-411-2023	P.A
CURRENT #120A,Marco Avenue,Panania	
ADDRESS : Lot-2 DP-612941	

Timber finish RAWN BY: PROJECT NO. DATE: 8/03/2025 Rekha 2502 813 SCALE: APPLICATION 1:100 DA AGE SIZE PAGE NO: 21 Α3

ISSUE

LEGEND

Name Indoor Tiles

Outdoor Tiles

Concrete finish

Tile for wet area

Ref.img