

DOUBLE STOREY DWELLING  
#120C,Marco Avenue,Panania

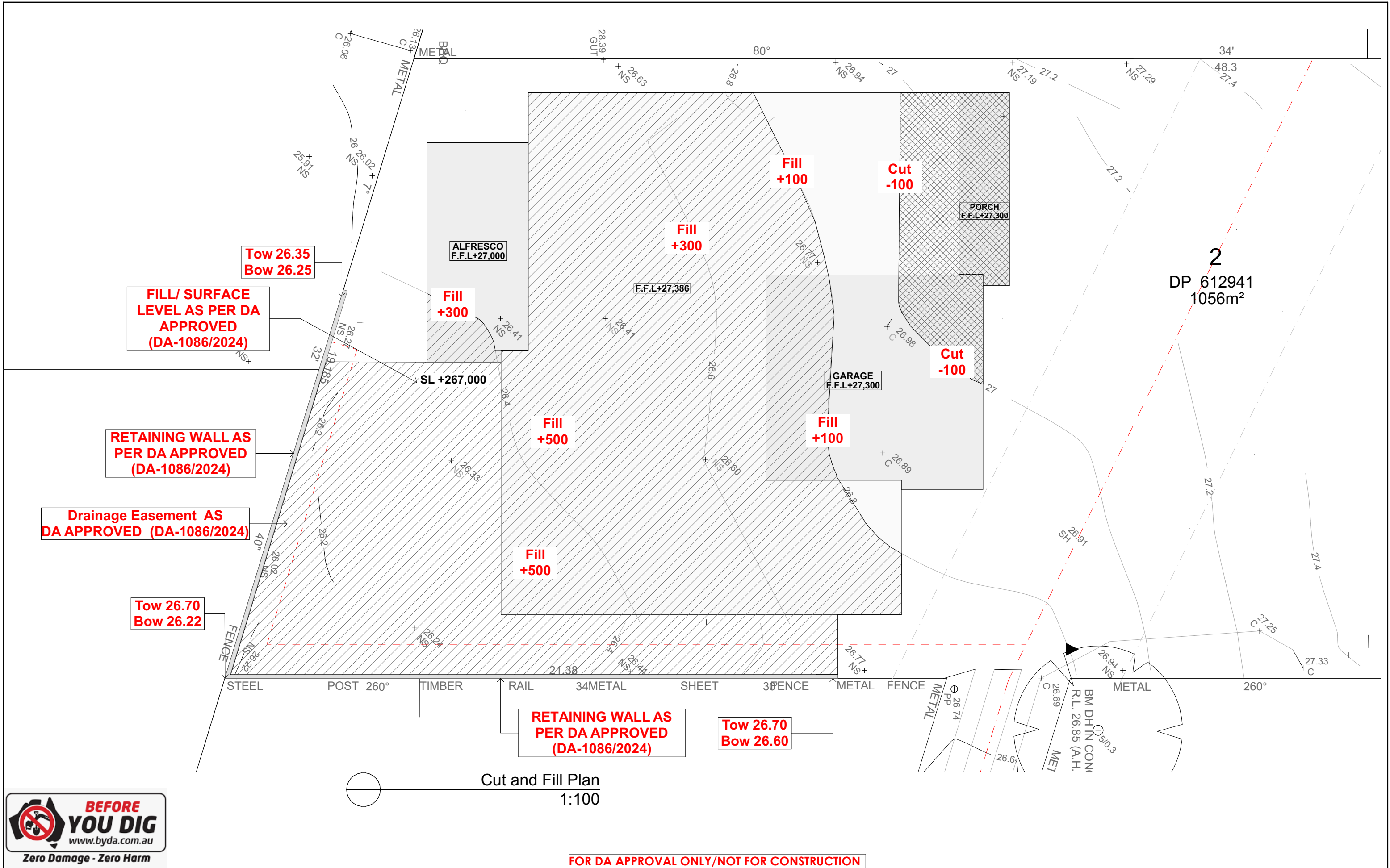


- General notes:**
- All materials and work practices shall comply with all-relevant current Australian standards (as amended) referred to therein.
  - These drawings shall be read in conjunction with all relevant structural and all other consultant's drawings/details and with any other written instructions issued.
  - Figured dimensions take precedence over scaled dimensions.
  - The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
  - The contractor/builder is responsible for setting out and checking all levels and measurements on site.
  - All dimensions and levels are to be checked and verified by the Owner/builder and any discrepancies in the documents must be resolved before ordering commencement of any works.
  - Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows are to be flashed all around.
  - Installation of all services shall comply with supply authority requirements.
  - The builder and subcontractor shall ensure that all stormwater drains, Sewer pipes and the like are located at a sufficient distance from any footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and under mining of any building and its footing system.

Page No.	Title
1	Coverpage
2	Basix Notes
3	Cut and Fill Plan
4	Site Plan
5	Site Plan
6	Ground Floor Plan
7	First Floor Plan
8	Roof Plan
9	Elevations
10	Side Elevations
11	Section
12	Door Schedule & SOF
13	Windows Schedule
14	Landscape Plan
15	Sediment Control Plan
16	Site Analysis
17	Shadow Analysis 20 March
18	Shadow Analysis 20 June
19	Shadow Analysis 20 Sep
20	FSR Calculation
21	Floor Finish

A






**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.  
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.  
All documents here within are subject to Australian Copyright Laws.



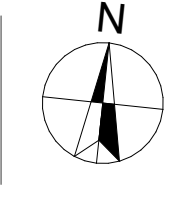
**INNOVATIVE  
ECO DESIGNS**  
Your Home Your Style

37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212  
design@ieedesigns.com.au  
www.ieedesigns.com.au



**ACCREDITED  
BUILDING DESIGNER**

A	8/03/2025	Issue for DA
---	-----------	--------------



DRAWING : **Cut and Fill Plan**

CLIENT :	<b>Minakshi Sharma &amp; Ashwani K Sharma</b>
PROJECT :	<b>DOUBLE STOREY DWELLING</b>
PROPOSED :	<b>#120C, Marco Avenue, Panania</b>
CURRENT :	<b>#120A, Marco Avenue, Panania</b>
ADDRESS :	<b>Lot-21 DA-411-2023</b>
ADDRESS :	<b>Lot-2 DP-612941</b>

DRAWN BY: Rekha

SCALE: 1:100

PAGE SIZE: A3

DATE : 8/03/2025

APPLICATION : DA

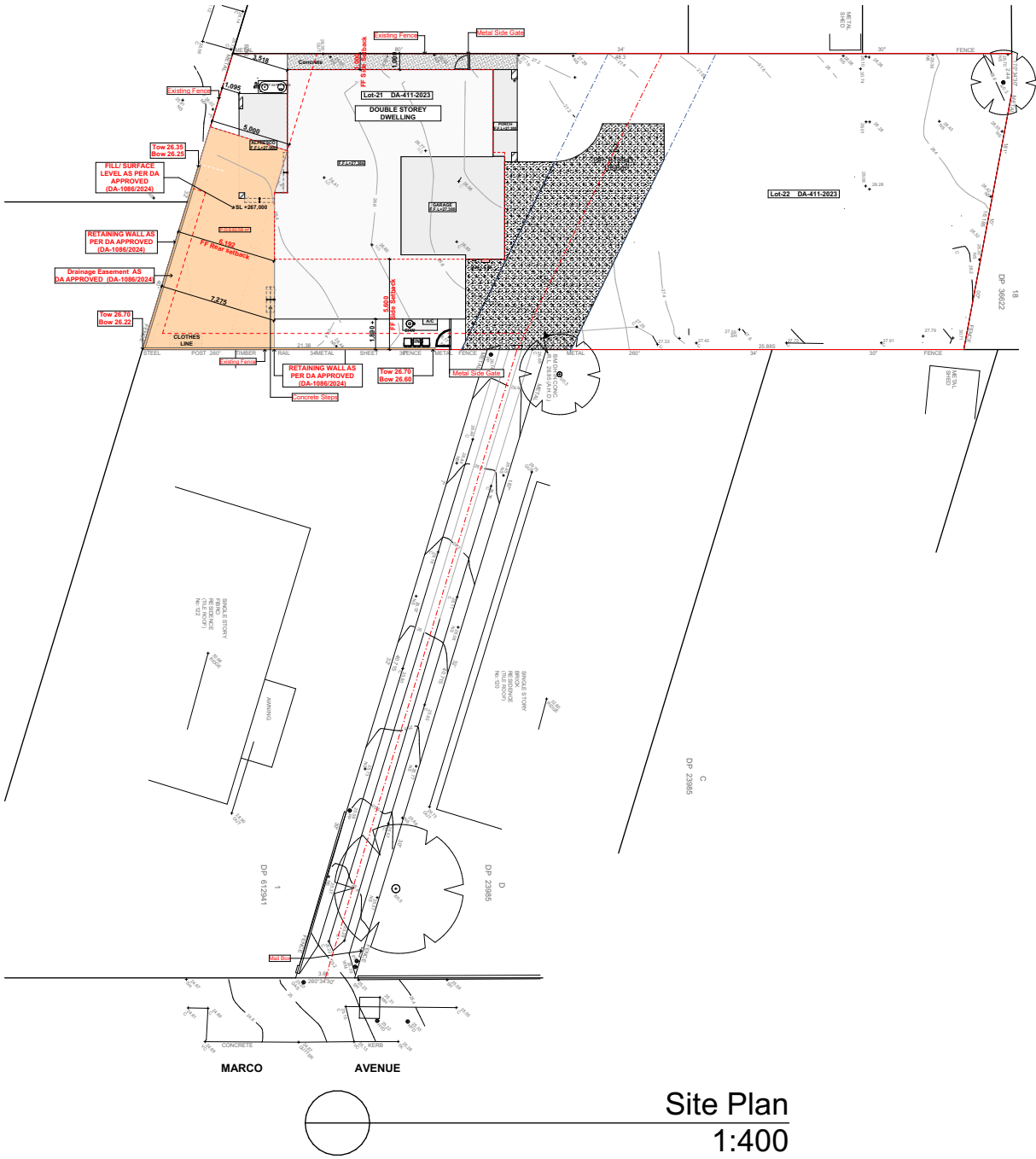
PAGE NO: 3

PROJECT NO. **2502 813**

ISSUE **A**

SITE CALCUALTIONS			FSR		
No.	Name	Area SQM	No	Name	Area SQM
01	Site Area	528.00	1	Ground Floor	148.66
02	Total Landscape area	149.54	2	First Floor	114.67
					263.33 m <sup>2</sup>

**Certificate No. 0011766185-01**  
Scan QR code or follow website link for rating details.  
Assessor name Zoran Cvetkovski  
Accreditation No. DMN/13/1641  
Property Address Unit 120C, 120A Marco Avenue,PANANIA NSW,2213



SURVEY LEGEND		
AHD	BM	C
EL	GUT	INV
4/0.2	NS	RL
SH	TK	BK
IP	VC	WM
PP	TEL	HYD
GB	BRW	TRW
LEGEND		
Ref.Img	Mark	Name
	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)
	R.W.T	Rain Water Tank
	E.M	Electric Meter
	A/C	Air Conditioner
	HW	Wall Mounted Hot water System
	P.O.S	Private Open Space
	FW	Floor Waste
	MV	Mechanical Ventilation (All vent to exhaust outside).
	ME	Mechanical Ventilation (All vent to exhaust outside).

**BEFORE YOU DIG**  
www.byda.com.au  
Zero Damage - Zero Harm

**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.

All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

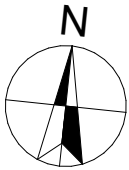
All documents here within are subject to Australian Copyright Laws.

**INNOVATIVE ECO DESIGNS**  
Your Home Your Style

37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW,2212  
design@iedesigns.com.au  
www.iedesigns.com.au

**ACCREDITED**  
BUILDING DESIGNER

A	8/03/2025	Issue for DA
---	-----------	--------------




**DRAWING :Site Plan**  
CLIENT : **Minakshi Sharma & Ashwani K Sharma**  
PROJECT : **DOUBLE STOREY DWELLING**  
PROPOSED **#120C,Marco Avenue,Panania**  
ADDRESS : **Lot-21 DA-411-2023**  
CURRENT **#120A,Marco Avenue,Panania**  
ADDRESS : **Lot-2 DP-612941**

**DRAWN BY:** Rekha  
**SCALE:** 1:400  
**PAGE SIZE:** A3


**DATE :** 8/03/2025  
**APPLICATION :** DA  
**PAGE NO:** 4

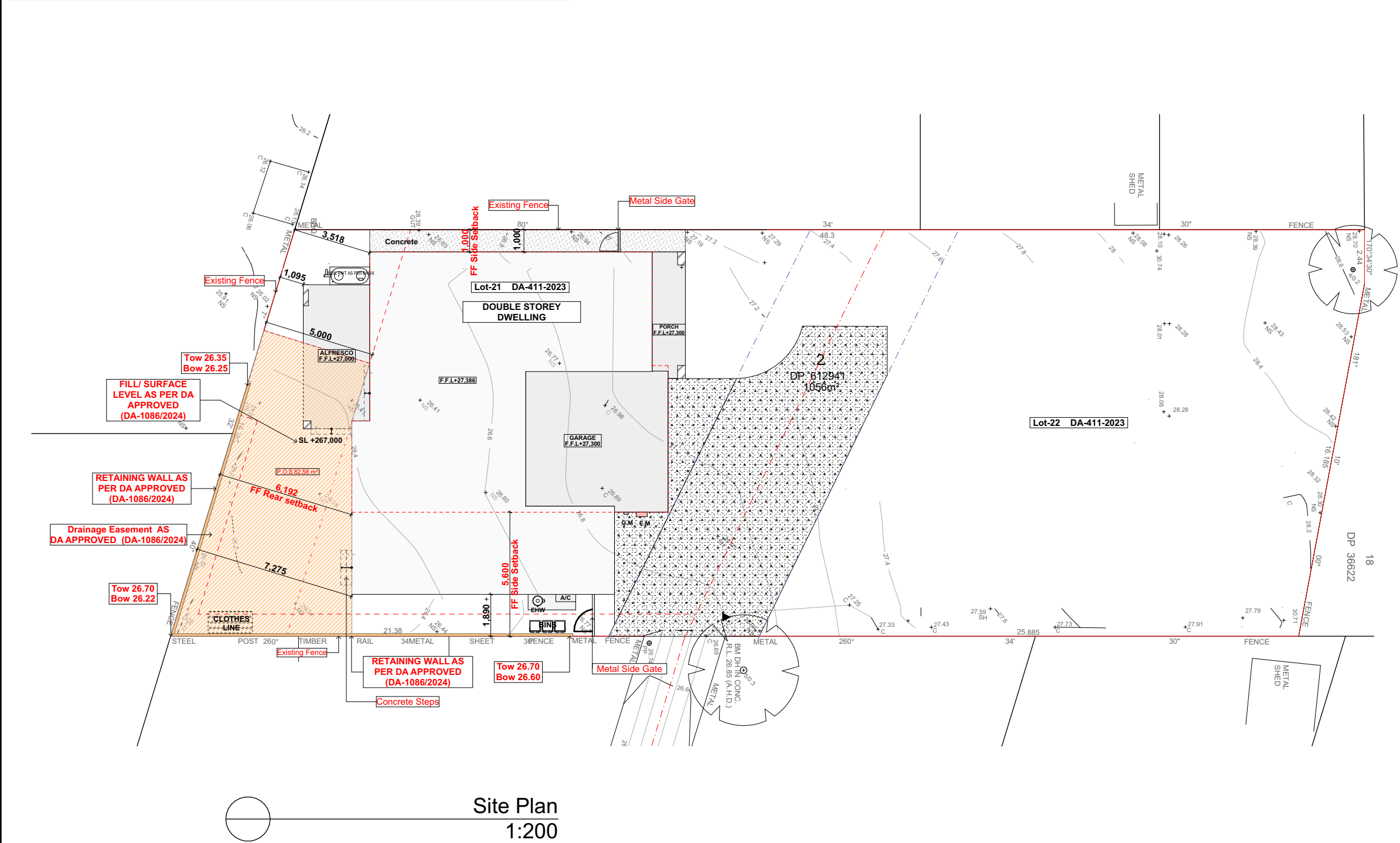
**PROJECT NO.** 2502 813  
**ISSUE** A

SITE CALCUALTIONS			FSR		
No.	Name	Area SQM	No	Name	Area SQM
01	Site Area	528.00	1	Ground Floor	148.66
02	Total Landscape area	149.54	2	First Floor	114.67
					263.33 m <sup>2</sup>










**Certificate No. 0011766185-01**  
Scan QR code or follow website link for rating details.

Assessor name Zoran Cvetkovski  
Accreditation No. DMN/13/1641  
Property Address Unit 120C, 120A Marco Avenue,PANANIA NSW,2213





SURVEY LEGEND	
AHD	AUSTRALIAN HEIGHT DATUM
BM	BENCH MARK
C	EDGE OF CONCRETE
EL	ENTRY LEVEL
GUT	TOP OF GUTTER
INV	INVERT OF PIT
4/0,2	TREE SPREAD / TRUNK DIAMETER
NS	NATURAL SURFACE
RL	REDUCED LEVEL
SH	SPOT HEIGHT
TK	TOP OF KERB
BK	BOTTOM OF KERB
IP	INSPECTION POINT
VC	VEHICLE CROSSING
WM	WATER METER
PP	POWER POLE
TEL	TELSTRA
HYD	HYDRANT
GB	GARDEN BED
BRW	BOTTOM OF RETAINING WALL
TRW	TOP OF RETAINING WALL

LEGEND		
Ref.Img	Mark	Name
	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)
	R.W.T	Rain Water Tank
	E.M	Electric Meter
	A/C	Air Conditioner
	HW	Wall Mounted Hot water System
	P.O.S	Private Open Space
	FW	Floor Waste
	MV	Mechanical Ventilation (All vent to exhaust outside).
	ME	Mechanical Ventilation (All vent to exhaust outside).



**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.

All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

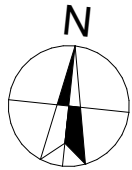
All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW,2212  
design@iedesigns.com.au  
www.iedesigns.com.au



A	8/03/2025	Issue for DA




DRAWING :Site Plan  
CLIENT : Minakshi Sharma & Ashwani K Sharma  
PROJECT : DOUBLE STOREY DWELLING  
PROPOSED #120C,Marco Avenue,Panania  
ADDRESS : Lot-21 DA-411-2023  
CURRENT #120A,Marco Avenue,Panania  
ADDRESS : Lot-2 DP-612941

DRAWN BY:	DATE :	PROJECT NO.
Rekha	8/03/2025	2502 813
SCALE:	APPLICATION :	ISSUE
1:200	DA	A
PAGE SIZE	PAGE NO:	
A3	5	



External Walls with vapour permeable membrane as per manufacturer detail.




Certificate No. 0011766185-01

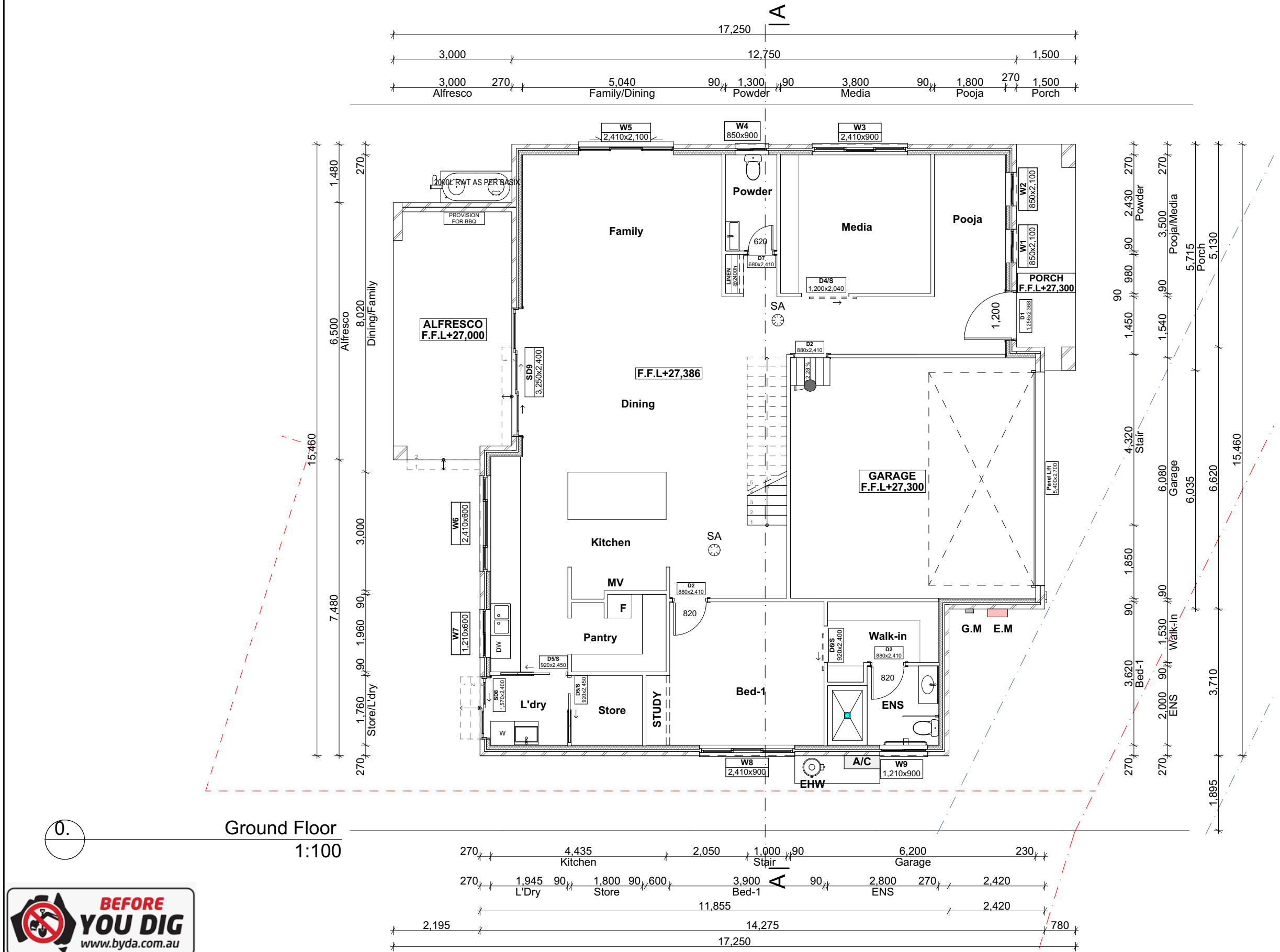
Scan QR code or follow website link for rating details.

Assessor name Zoran Cvetkovski

Accreditation No. DMN/13/1641

Property Address Unit 120C, 120A Marco Avenue, PANANIA NSW, 2213





LEGEND		
Ref.Img	Mark	Name
	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)
	R.W.T	Rain Water Tank
	E.M	Electric Meter
	A/C	Air Conditioner
	HW	Wall Mounted Hot water System
	P.O.S	Private Open Space
	FW	Floor Waste
	MV	Mechanical Ventilation (All vent to exhaust outside).
	ME	Mechanical Ventilation (All vent to exhaust outside).

**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.

All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

All documents here within are subject to Australian Copyright Laws.



INNOVATIVE  
ECO DESIGNS

Your Home Your Style

37604191460 ABN  
(02) 8710 3852

SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212

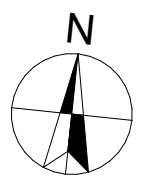
design@iedesigns.com.au

www.iedesigns.com.au



ACCREDITED  
BUILDING DESIGNER

A	8/03/2025	Issue for DA
---	-----------	--------------



DRAWING :Ground Floor Plan

CLIENT : Minakshi Sharma & Ashwani K Sharma

PROJECT : DOUBLE STOREY DWELLING

PROPOSED #120C,Marco Avenue,Panania

ADDRESS : Lot-21 DA-411-2023

CURRENT #120A,Marco Avenue,Panania

ADDRESS : Lot-2 DP-612941

DRAWN BY: Rekha

SCALE: 1:100

PAGE SIZE A3

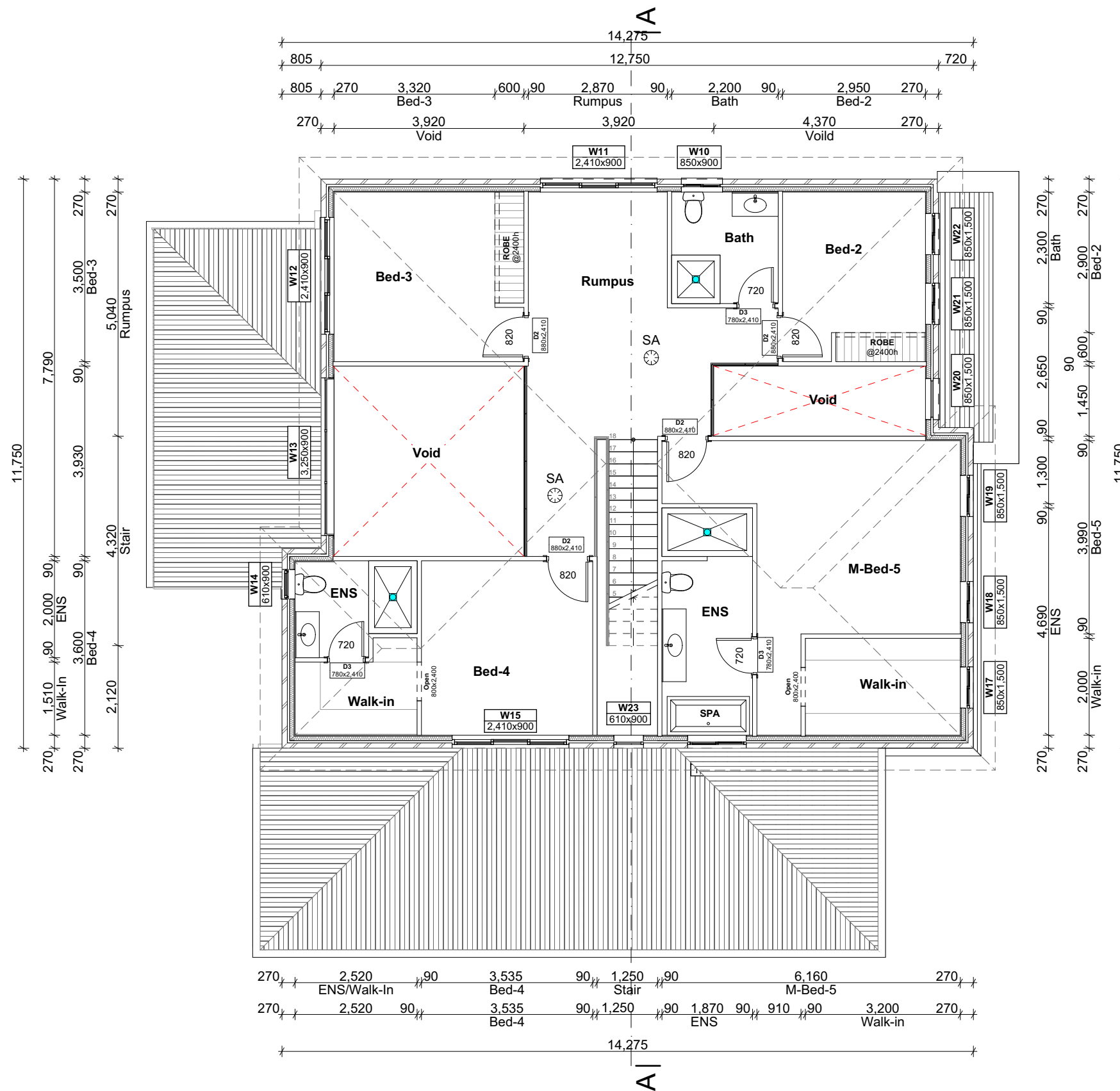
DATE : 8/03/2025

APPLICATION : DA

PAGE NO: 6

PROJECT NO. 2502 813

ISSUE A



2.

First Floor  
1:100

FOR DA APPROVAL ONLY/NOT FOR CONSTRUCTION

LEGEND		
Ref.Img	Mark	Name
	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)
	R.W.T	Rain Water Tank
	E.M	Electric Meter
	A/C	Air Conditioner
	HW	Wall Mounted Hot water System
	P.O.S	Private Open Space
	FW	Floor Waste
	MV	Mechanical Ventilation (All vent to exhaust outside).
	ME	Mechanical Ventilation (All vent to exhaust outside).

**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.

All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

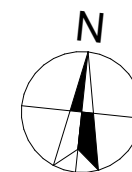
All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212  
design@iedesigns.com.au  
www.iedesigns.com.au



A	8/03/2025	Issue for DA
---	-----------	--------------



DRAWING : First Floor Plan

CLIENT : Minakshi Sharma & Ashwani K Sharma  
PROJECT : DOUBLE STOREY DWELLING  
PROPOSED #120C, Marco Avenue, Panania  
ADDRESS : Lot-21 DA-411-2023  
CURRENT #120A, Marco Avenue, Panania  
ADDRESS : Lot-2 DP-612941

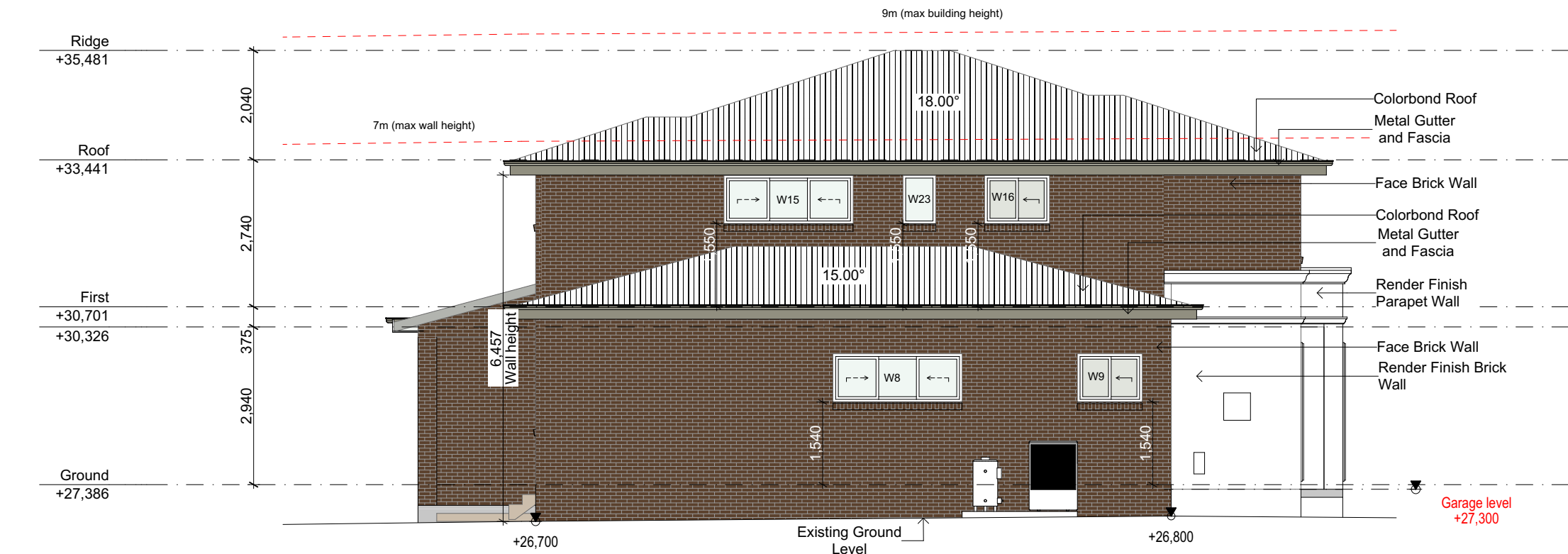
DRAWN BY:	DATE :	PROJECT NO.
Rekha	8/03/2025	2502 813
SCALE:	APPLICATION :	ISSUE
1:100	DA	A
PAGE SIZE	PAGE NO:	
A3	7	



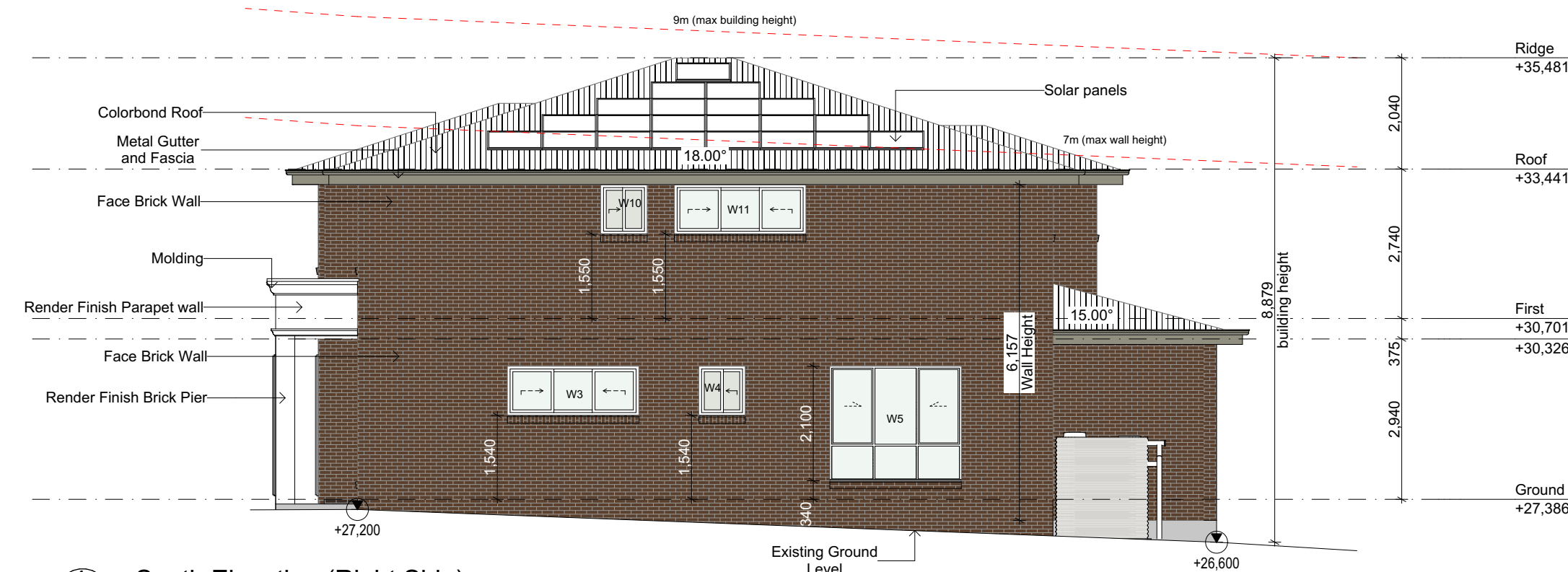




First floor windows to touch the eaves.



3 North Elevation (Left Side)  
1:100



4 South Elevation (Right Side)  
1:100

FOR DA APPROVAL ONLY/NOT FOR CONSTRUCTION



**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.

All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212  
design@iedesigns.com.au  
www.iedesigns.com.au

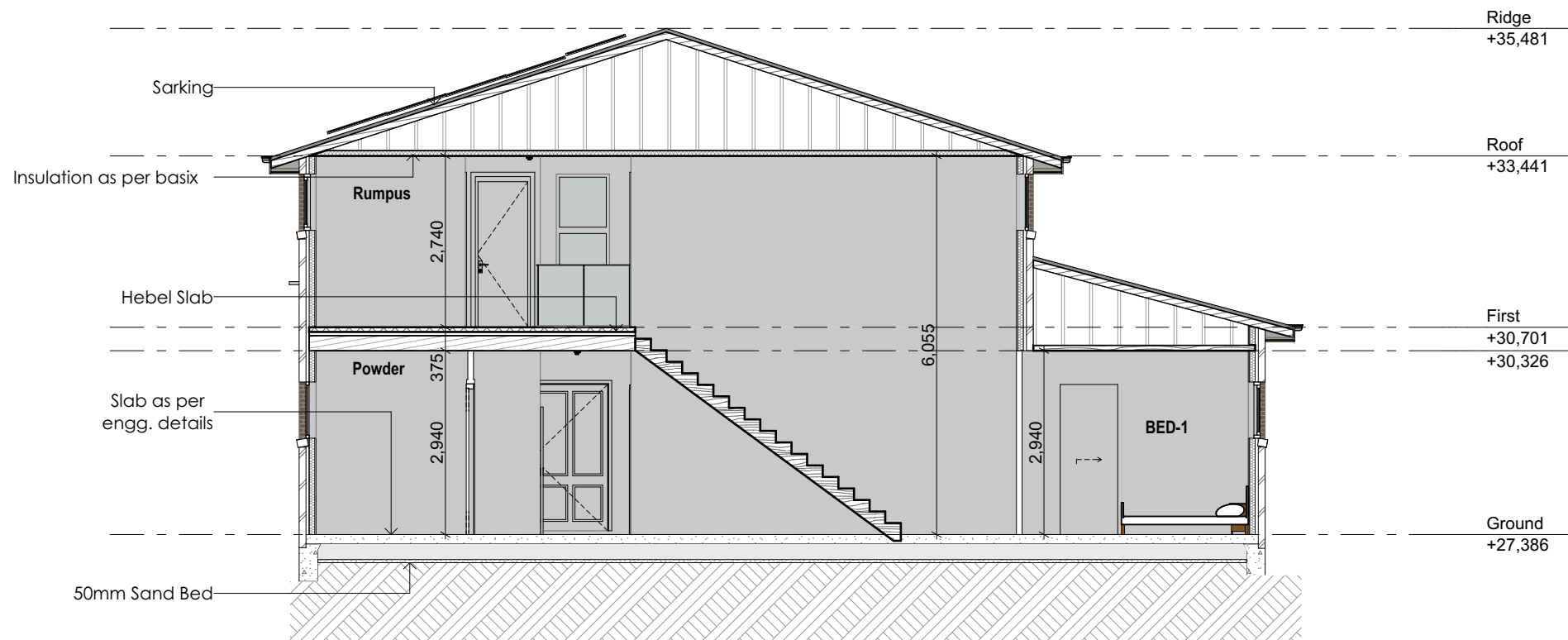


A	8/03/2025	Issue for DA

DRAWING :Side Elevations

CLIENT : Minakshi Sharma & Ashwani K Sharma  
PROJECT : DOUBLE STOREY DWELLING  
PROPOSED #120C, Marco Avenue, Panania  
ADDRESS : Lot-21 DA-411-2023  
CURRENT #120A, Marco Avenue, Panania  
ADDRESS : Lot-2 DP-612941

DRAWN BY:	DATE :	PROJECT NO.
Rekha	8/03/2025	2502 813
SCALE:	APPLICATION :	ISSUE
1:100	DA	A
PAGE SIZE	PAGE NO:	
A3	10	



Section A  
1:100



FOR DA APPROVAL ONLY/NOT FOR CONSTRUCTION



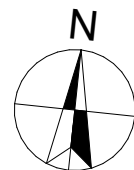
**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.  
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.  
All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212  
design@iedesigns.com.au  
www.iedesigns.com.au



A	8/03/2025	Issue for DA
---	-----------	--------------



DRAWING :Section

CLIENT : **Minakshi Sharma & Ashwani K Sharma**  
PROJECT : **DOUBLE STOREY DWELLING**  
PROPOSED **#120C, Marco Avenue, Panania**  
ADDRESS : **Lot-21 DA-411-2023**  
CURRENT **#120A, Marco Avenue, Panania**  
ADDRESS : **Lot-2 DP-612941**

DRAWN BY: Rekha	DATE : <b>8/03/2025</b>	PROJECT NO. <b>2502 813</b>
SCALE: 1:100	APPLICATION : DA	ISSUE <b>A</b>
PAGE SIZE A3	PAGE NO: 11	



Door Shedule								
Element ID	D1	D2	D3	D4/S	D5/S	D6/S	D7	Open
Wallhole Dimensions (W x H)	1,256×2,368	880×2,410	780×2,410	1,200×2,040	920×2,450	920×2,400	680×2,410	800×2,400
Leaf Dimensions	1,200×2,340	820×2,340	720×2,340	1,100×1,990	820×2,340	820×2,350	620×2,340	---
Elevation								
Quantity	1	7	3	1	2	1	1	2
Position	Exterior	Interior	Interior	Interior	Interior	Interior	Interior	Interior

Aluminium Door Schedule			
ID	Panel Lift	SD8	SD9
Frame Dimensions (W X H)	5,400×2,700	1,570×2,400	3,250×2,400
Elevation			
QTY	1	1	1
Position	Exterior	Exterior	Exterior

SCHEDULE OF FINISHES		
ELEMENT	SPECIFICATION	COLOUR
Walls	Austral Bricks- Everyday Life- Freedom	
Window	White	
Roof	Colourbond Dune	
Gutter	Colourbond Dune	
Fascia	Colourbond Dune	

FOR DA APPROVAL ONLY/NOT FOR CONSTRUCTION

**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.

All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW,2212  
design@iedesigns.com.au  
www.iedesigns.com.au



A	8/03/2025	Issue for DA

DRAWING : <b>Door Schedule &amp; SOF</b>	
CLIENT :	<b>Minakshi Sharma &amp; Ashwani K Sharma</b>
PROJECT :	<b>DOUBLE STOREY DWELLING</b>
PROPOSED ADDRESS :	<b>#120C,Marco Avenue,Panania</b>
CURRENT ADDRESS :	<b>#120A,Marco Avenue,Panania</b>
	<b>Lot-2 DP-612941</b>

DRAWN BY:	DATE :	PROJECT NO.
Rekha	<b>8/03/2025</b>	<b>2502 813</b>
SCALE:	APPLICATION :	ISSUE
	DA	<b>A</b>
PAGE SIZE A3	PAGE NO: 12	

Window Schedule							
ID	W1	W2	W3	W4	W5	W6	W7
Frame Dimensions	850×2,100	850×2,100	2,410×900	850×900	2,410×2,100	2,410×600	1,210×600
Elevation							
Glass	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Obscure	Glass - Clear	Glass - Clear	Glass - Clear
QTY	1	1	1	1	1	1	1

Window Schedule						
ID	W8	W9	W10	W11	W12	W13
Frame Dimensions	2,410×900	1,210×900	850×900	2,410×900	2,410×900	3,250×900
Elevation						
Glass	Glass - Clear	Glass - Obscure	Glass - Obscure	Glass - Clear	Glass - Clear	Glass - Clear
QTY	1	1	1	1	1	1

Window Schedule						
ID	W14	W15	W16	W17	W18	W19
Frame Dimensions	610×900	2,410×900	1,210×900	850×1,500	850×1,500	850×1,500
Elevation						
Glass	Glass - Obscure	Glass - Clear	Glass - Obscure	Glass - Clear	Glass - Clear	Glass - Clear
QTY	1	1	1	1	1	1

Window Schedule				
ID	W20	W21	W22	W23
Frame Dimensions	850×1,500	850×1,500	850×1,500	610×900
Elevation				
Glass	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Clear
QTY	1	1	1	1

NOTE:  
- TO BE CHECKED AND CONFIRMED BY BUILDER ON SITE BEFORE PLACING ORDER.  
-FALL PREVENTION FROM WINDOWS  
-WINDOWS TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF NCC 2022 vol. 2 part 11.3.7  
1- If Opening withing 1700mm above the floor; and climable elements between 150 and 750 mM above the floor, opening must be permanently restricted to 125mm; or fitted with a non-removable robust screen.  
2-If opening between 865 and 1700mm above the floor; and no climable elements between 150 and 760mm bove the floor, opening must be restricted to 125mm; or fitted with a removable robust screen.  
3- If opening between 865 of the floor; and climable elements between 150 and 760mm above the floor;or fitted with a non-removable robust screen.  
4-If no opening within 1700mm of the floor. No restrictions apply.

**Part 11.3.7** Protection of openable windows - bedrooms  
(1) A window opening in a bedroom must be provided with protection, where the floor below the window is 2 m or more above the surface beneath.  
(2) Where the lowest level of the window opening covered by (1) is less than 1.7 m above the floor, the window opening must comply with the following:  
(a) The openable portion of the window must be protected with—  
(i) a device capable of restricting the window opening; or  
(ii) a screen with secure fittings.  
(b) A device or screen required by (a) must—  
(i) not permit a 125 mm sphere to pass through the window opening or screen; and  
(ii) resist an outward horizontal action of 250 N against the—  
(A) window restrained by a device; or  
(B) screen protecting the opening; and  
(iii) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.  
(3) Where a device or screen provided in accordance with (2)(a) is able to be removed, unlocked or overridden, a barrier with a height not less than 865 mm above the floor is required to the openable window in addition to window protection.  
(4) A barrier covered by (3) must not—  
(a) permit a 125 mm sphere to pass through it; and  
(b) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing.

**11.3.8** Protection of openable windows - rooms other than bedrooms  
(1) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above the surface beneath.  
(2) The openable part of the window covered by (a) must be protected with a barrier with a height of not less than 865mm above the floor.  
(3) A barrier required by (b) must not—  
(a) permit a 125 mm sphere to pass through it; and  
(b) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing.

FOR DA APPROVAL ONLY/NOT FOR CONSTRUCTION

**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.  
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.  
All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW,2212  
design@iedesigns.com.au  
www.iedesigns.com.au



A	8/03/2025	Issue for DA

DRAWING :Windows Schedule

CLIENT :	Minakshi Sharma & Ashwani K Sharma
PROJECT :	DOUBLE STOREY DWELLING
PROPOSED ADDRESS :	#120C,Marco Avenue,Panania
CURRENT ADDRESS :	Lot-21 DA-411-2023
CURRENT ADDRESS :	#120A,Marco Avenue,Panania
CURRENT ADDRESS :	Lot-2 DP-612941

DRAWN BY:	DATE :	PROJECT NO.
Rekha	8/03/2025	2502 813
SCALE:	APPLICATION :	ISSUE
	DA	A
PAGE SIZE	PAGE NO:	
A3	13	



Mail Box  
1:20

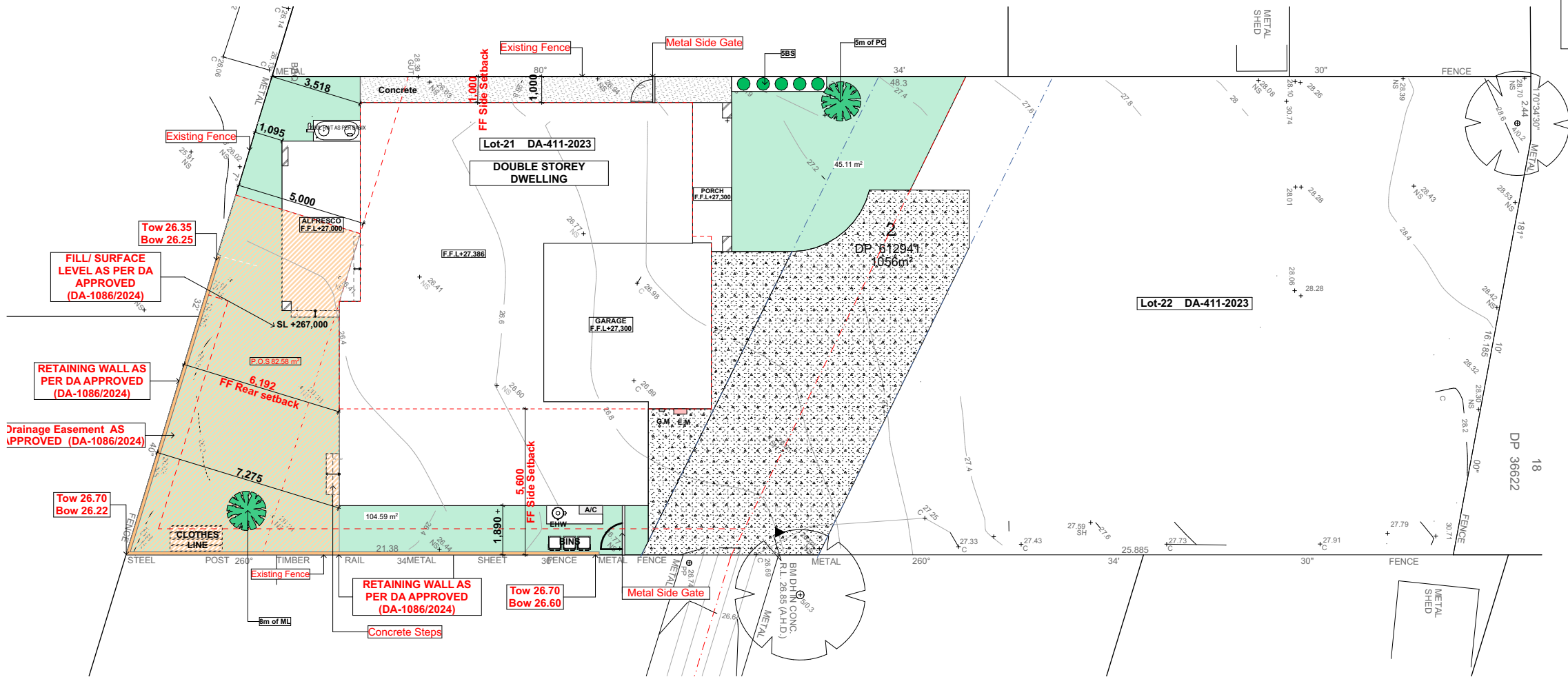
## LANDSCAPE SCHEDULE

Reference Image	ABB	NAME	TYPE	HEIGHT	POT. SIZE	QUA.
	(ML)	MELALEUCA LINARIIFOLIA	Tree	8-15m	75LT.	1
	(PC)	PYRUS CALLERYANA (CHANTICLEER)	Tree	5m	45LT.	1
	(BS)	BANKSIA SPINULOSA	Shrub	1-3m	300mm	10
		BUFFALO GRASS	Grass			
		AGGREGATE				

### LEGEND

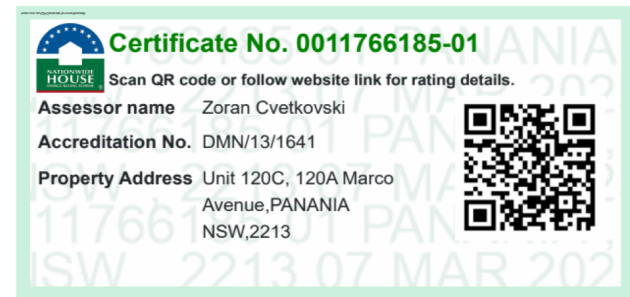
Ref.img	Name
	Tree
	Shrub
	Grass (Landscape Area)
	Aggregate

GE:- GARDEN EDGING AS SELECTED  
TREATED PINE SPLITS 90 MM 2.4 MT LENGTH,  
FASTENED TO HARWOOD STAKES, MINIMUM  
DEPTH IN GROUND OF 300 MM WITH GALVANISED  
TREATED PINE SCREWS(SIZE 75 MM X 8G)  
  
LAWN:- BUFFALO WITH SHIRLEYS NO.17 FERTILISER  
ALL PLANTS TO HAVE 35 MM OF BARK CHIP MULCH  
SPREAD OVER TOP SOIL TURF TO BE WATERED  
MORNING AND EVENING FOR A PERIOD OF TWO  
WEEKS OR AD NECESSARY.



Landscape Plan  
1:200

FOR DA APPROVAL ONLY/NOT FOR CONSTRUCTION



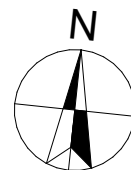
**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.  
  
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.  
  
All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212  
design@iedesigns.com.au  
www.iedesigns.com.au



A	8/03/2025	Issue for DA

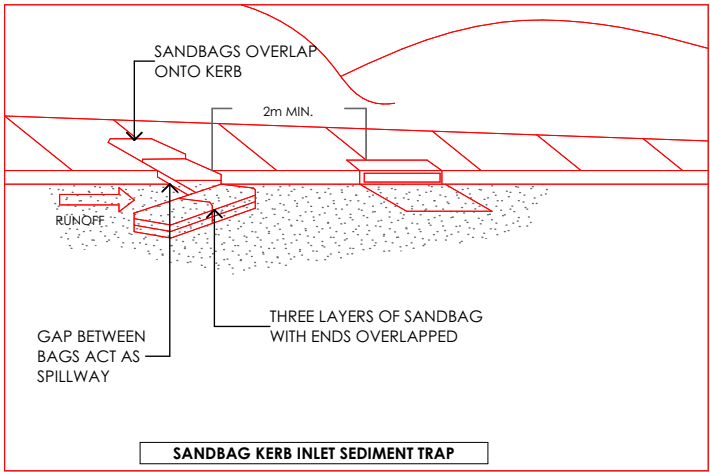
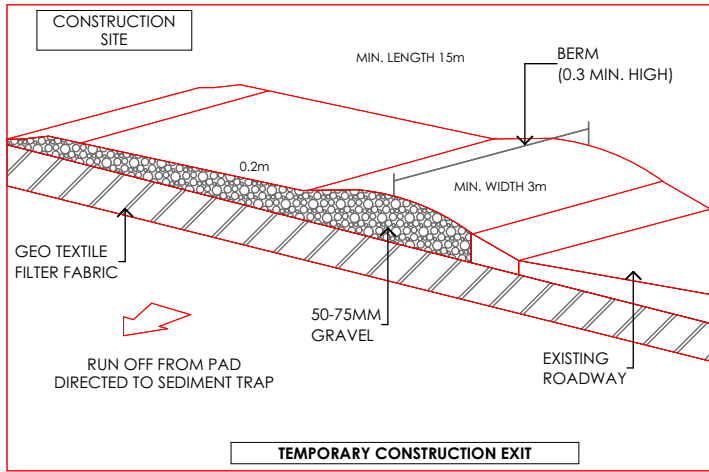
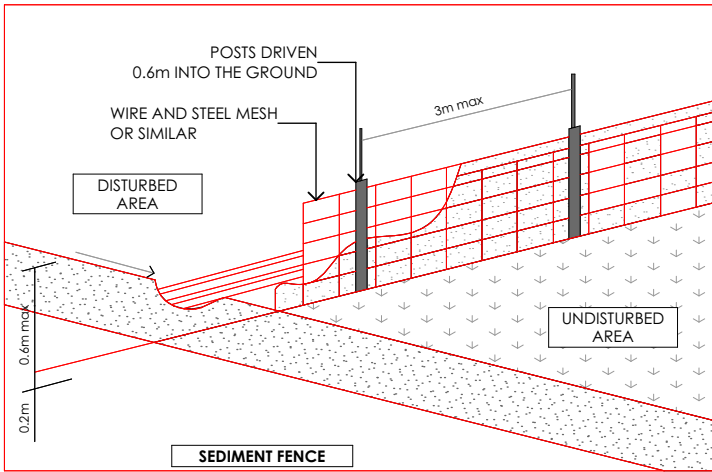


DRAWING :Landscape Plan

CLIENT : **Minakshi Sharma & Ashwani K Sharma**  
PROJECT : **DOUBLE STOREY DWELLING**  
PROPOSED **#120C,Marco Avenue,Panania**  
CURRENT **#120A,Marco Avenue,Panania**  
ADDRESS : **Lot-21 DA-411-2023**  
ADDRESS : **Lot-2 DP-612941**

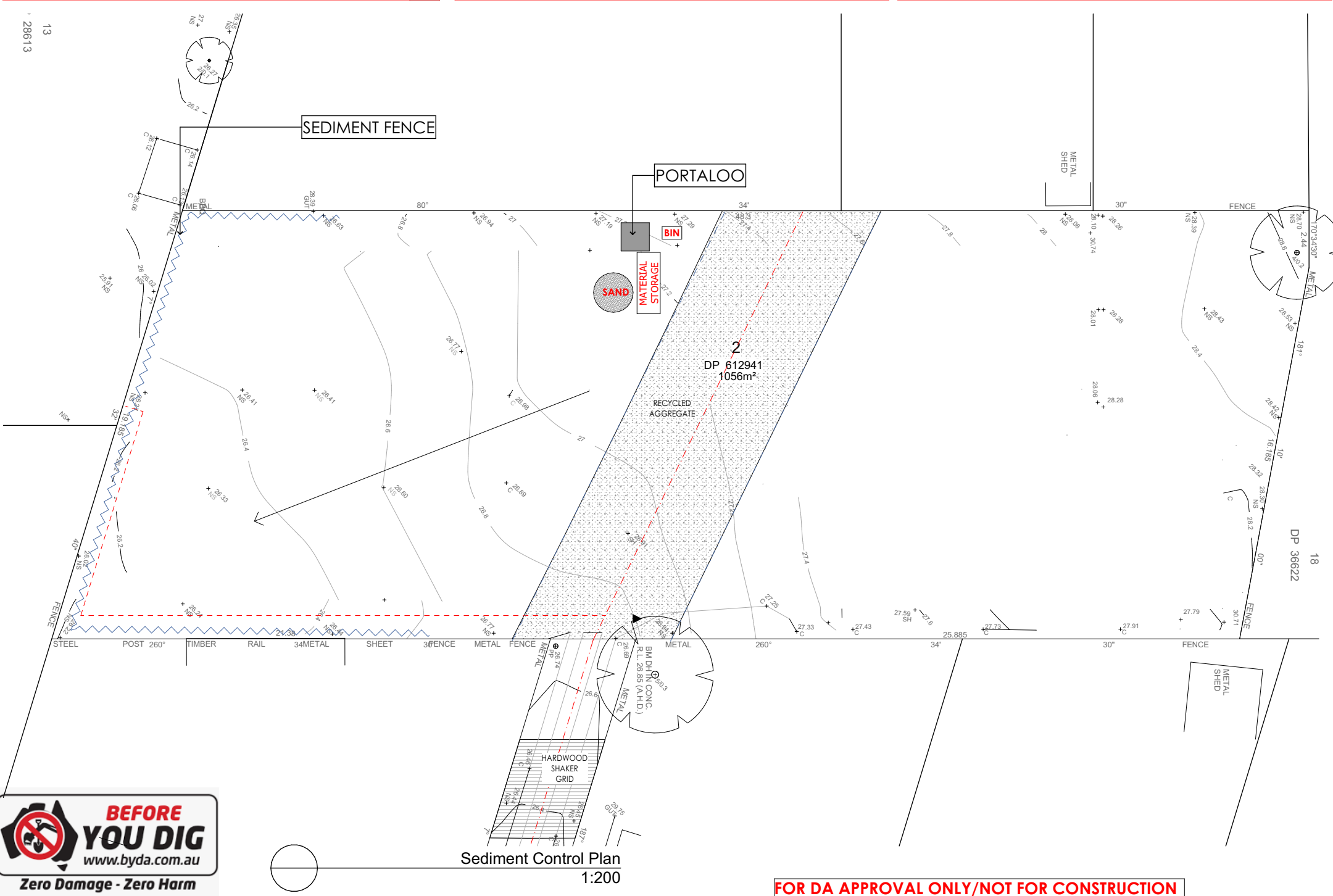
DRAWN BY: **Rekha**  
SCALE: **1:200**  
PAGE SIZE **A3**  
DATE : **8/03/2025**  
APPLICATION : **DA**  
PAGE NO: **14**  
PROJECT NO. **2502 813**  
ISSUE **A**





**SEDIMENT CONTROL NOTES**

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES AREA MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER.



TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RE-SPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (i.e ALL FOOT-PATHS, BATTERS, SITE, REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS). TOP SOIL SHALL NOT BE SPREAD ON ANY OTHER AREAS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWN STREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. (NO SILT SHALL BE PLACED OUTSIDE THE LIMITS OF WORKS). THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL

**SEDIMENT NOTES**

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE AND PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 m LONG STAR PICKETS INTO GROUND Max 3 m Ctrs.
3. DIG A 150 mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF SUPPORTING GEOTEXILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A Min LAP OF 150 mm.

\*THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING:

**1-ARCHITECTURAL PLANS  
2-CONTOUR AND DETAIL SURVEY**



**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.

All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

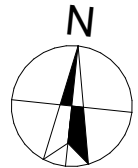
All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212  
design@iedesigns.com.au  
www.iedesigns.com.au



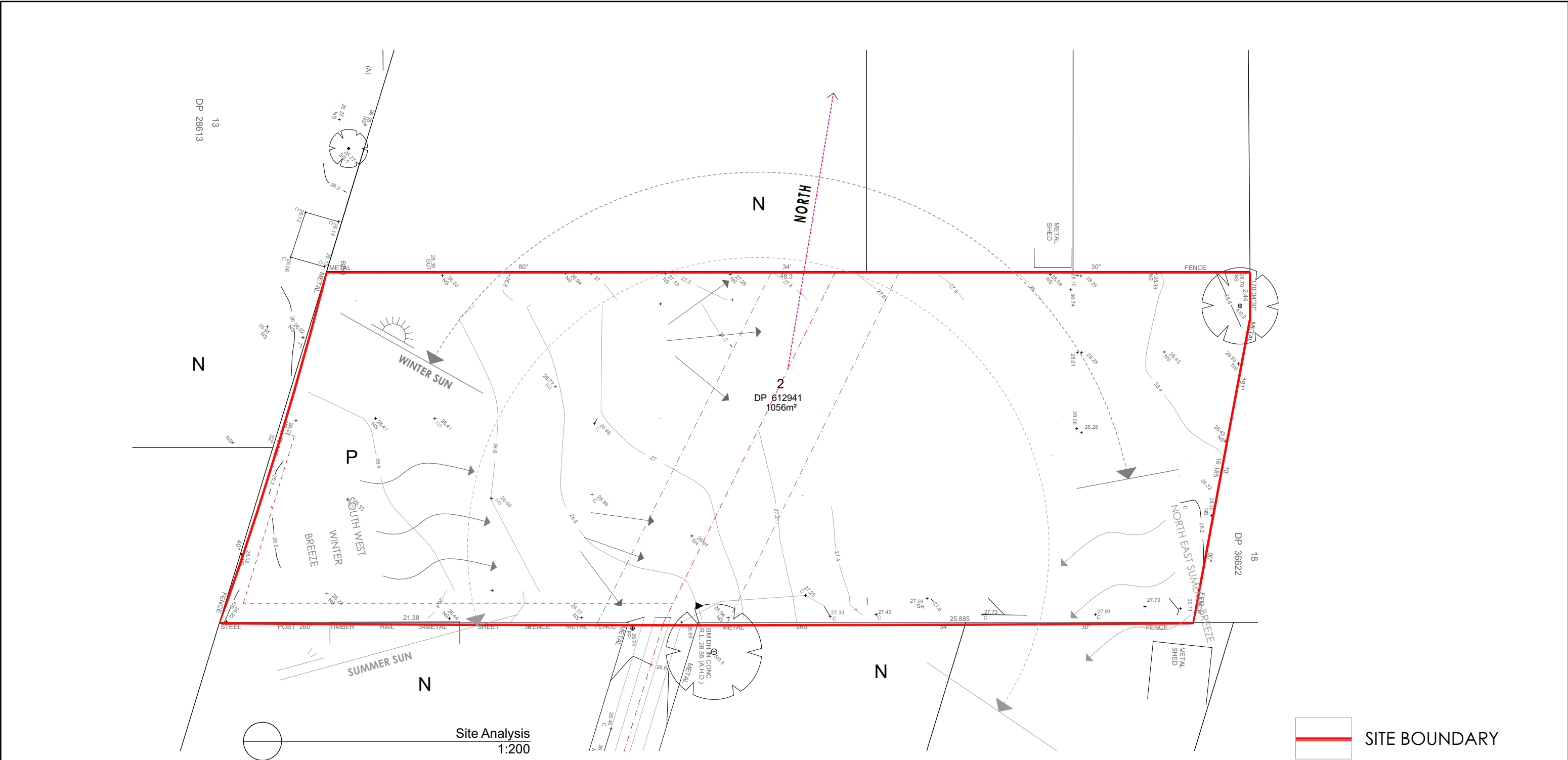
A	8/03/2025	Issue for DA



DRAWING : **Sediment Control Plan**  
CLIENT : **Minakshi Sharma & Ashwani K Sharma**  
PROJECT : **DOUBLE STOREY DWELLING**  
PROPOSED **#120C, Marco Avenue, Panania**  
ADDRESS : **Lot-21 DA-411-2023**  
CURRENT **#120A, Marco Avenue, Panania**  
ADDRESS : **Lot-2 DP-612941**

DRAWN BY:	DATE :	PROJECT NO.
Rekha	8/03/2025	2502 813
SCALE:	APPLICATION :	ISSUE
1:200	DA	A
PAGE SIZE	PAGE NO:	
A3	15	

**Certificate No. 0011766185-01**  
Scan QR code or follow website link for rating details.  
Assessor name Zoran Cvetkovski  
Accreditation No. DMN/13/1641  
Property Address Unit 120C, 120A Marco Avenue, PANANIA NSW, 2213



- SITE BOUNDARY
- VIEWS
- NEIGHBOURHOOD
- PRIVATE OPEN SPACE
- TRAFFIC



**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.

All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

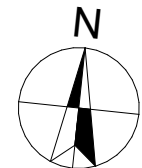
All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212  
design@iedesigns.com.au  
www.iedesigns.com.au

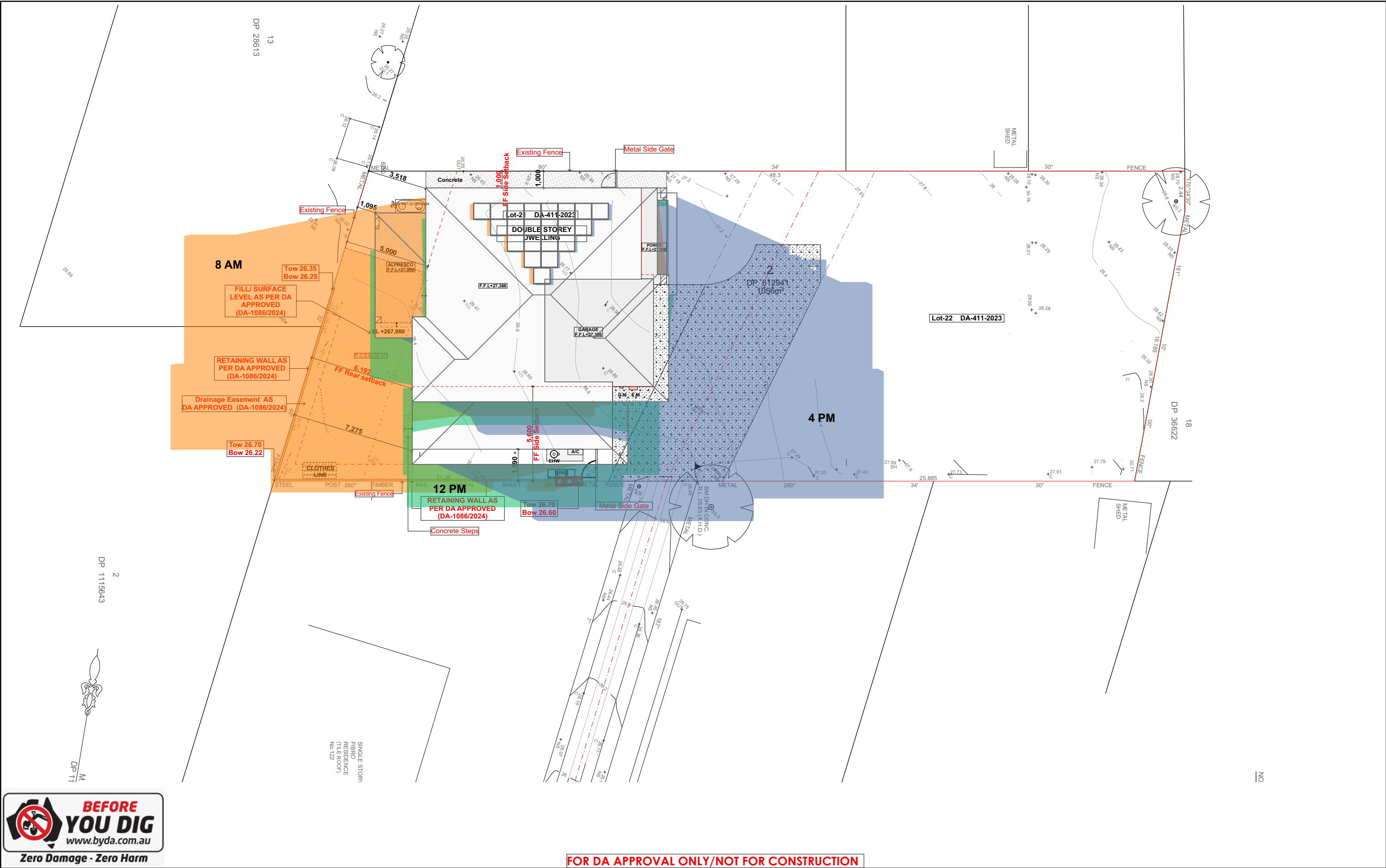


A	8/03/2025	Issue for DA



DRAWING : **Site Analysis**  
CLIENT : **Minakshi Sharma & Ashwani K Sharma**  
PROJECT : **DOUBLE STOREY DWELLING**  
PROPOSED ADDRESS : **Lot-21 DA-411-2023**  
CURRENT ADDRESS : **#120A, Marco Avenue, Panania**  
ADDRESS : **Lot-2 DP-612941**

DRAWN BY: Rekha	DATE : <b>8/03/2025</b>	PROJECT NO. <b>2502 813</b>
SCALE: 1:200	APPLICATION : DA	ISSUE <b>A</b>
PAGE SIZE A3	PAGE NO: 16	



FOR DA APPROVAL ONLY/NOT FOR CONSTRUCTION

**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.  
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.  
All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212  
design@iedesigns.com.au  
www.iedesigns.com.au



A	8/03/2025	Issue for DA	



DRAWING :Shadow Analysis 20 March

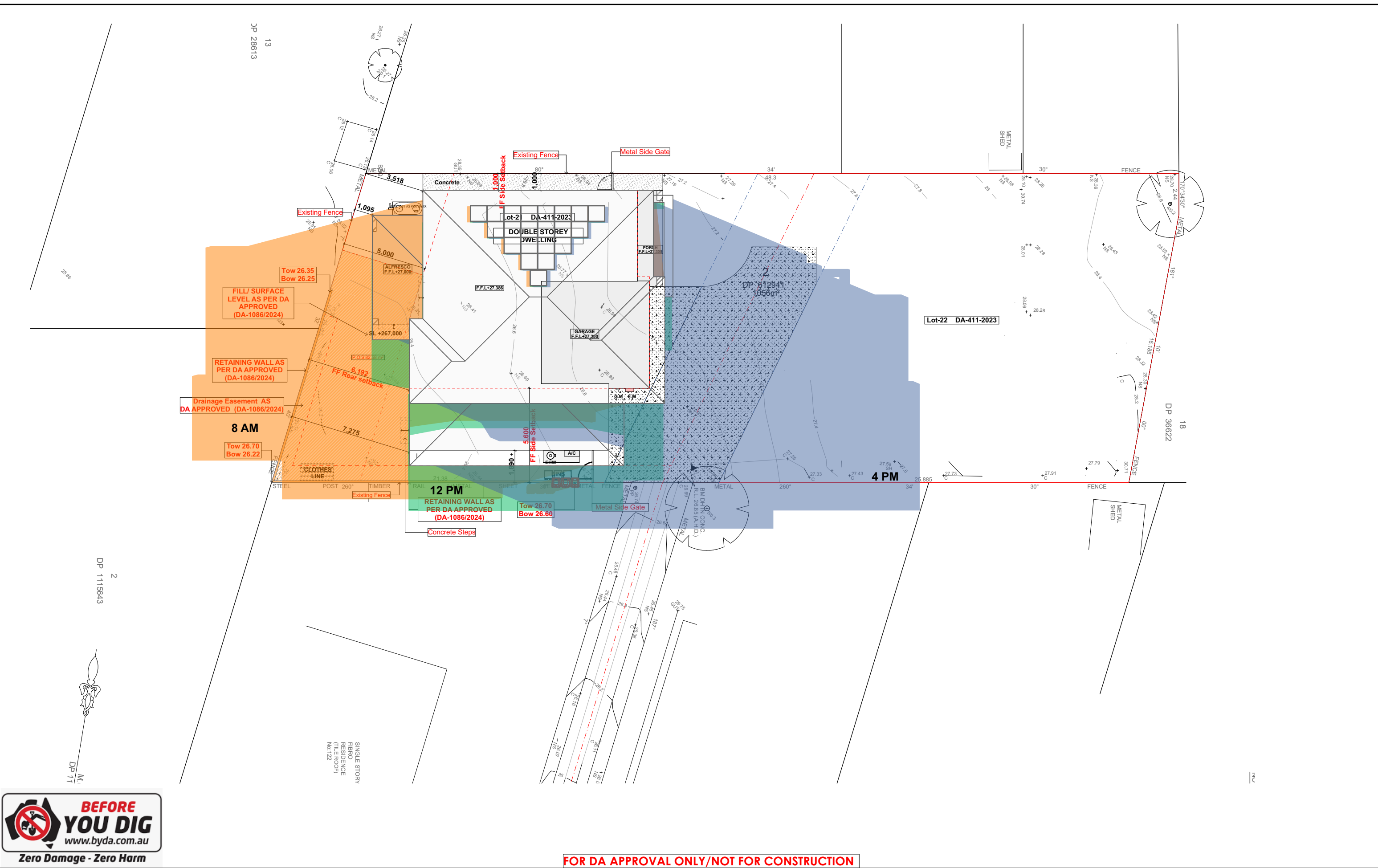
CLIENT : **Minakshi Sharma & Ashwani K Sharma**  
PROJECT : **DOUBLE STOREY DWELLING**  
PROPOSED **#120C,Marco Avenue,Panania**  
ADDRESS : **Lot-21 DA-411-2023**  
CURRENT **#120A,Marco Avenue,Panania**  
ADDRESS : **Lot-2 DP-612941**

DRAWN BY: **Rekha**  
SCALE: **1:200**  
PAGE SIZE **A3**  
DATE : **8/03/2025**  
APPLICATION : **DA**  
PAGE NO: **17**

PROJECT NO. **2502 813**  
ISSUE **A**







FOR DA APPROVAL ONLY/NOT FOR CONSTRUCTION

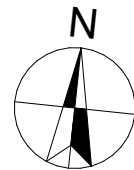
**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.  
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.  
All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212  
design@iedesigns.com.au  
www.iedesigns.com.au



A	8/03/2025	Issue for DA			



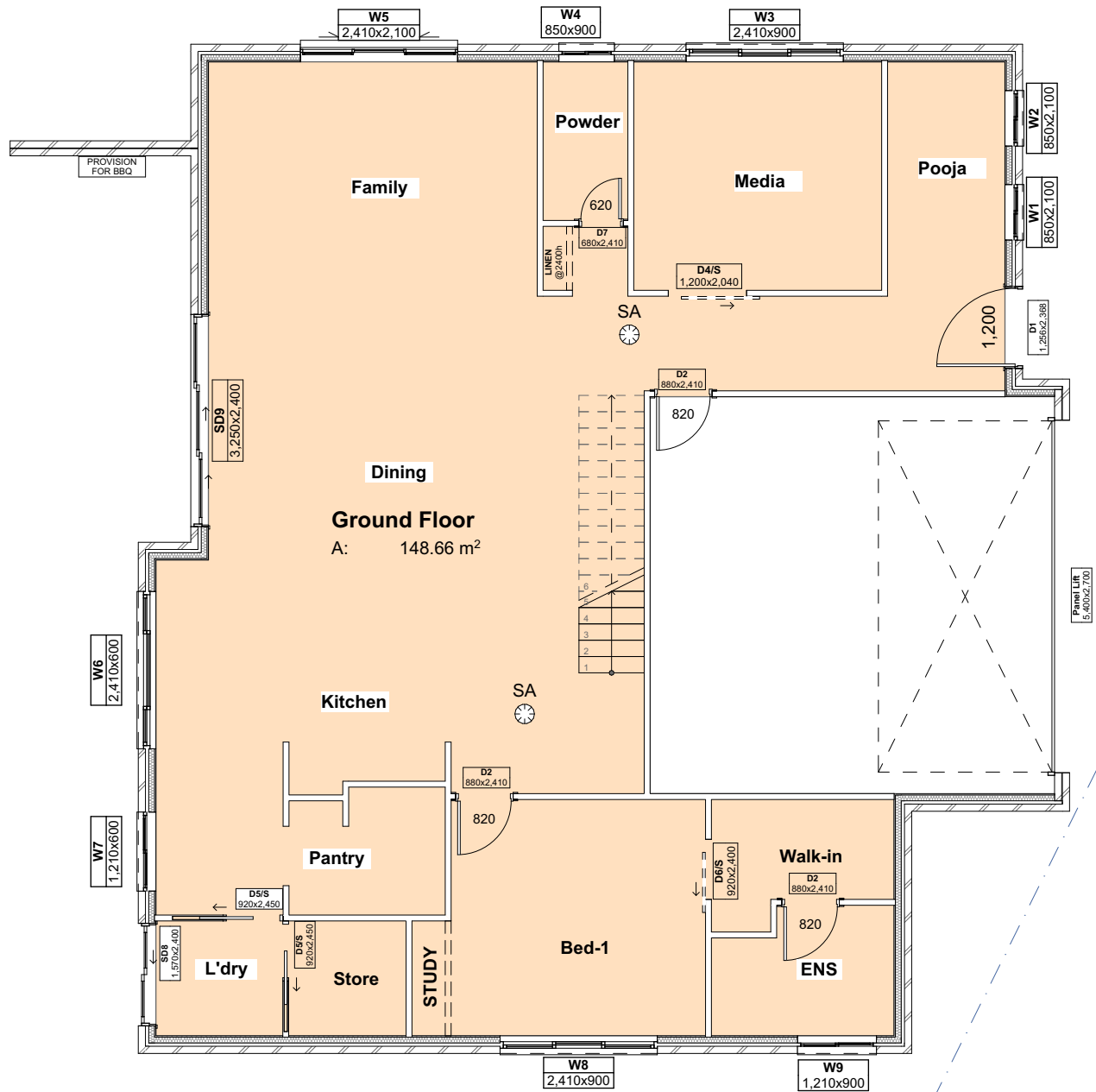
DRAWING : Shadow Analysis 20 Sep

CLIENT : Minakshi Sharma & Ashwani K Sharma  
PROJECT : DOUBLE STOREY DWELLING  
ADDRESS : Lot-21 DA-411-2023  
CURRENT : #120A, Marco Avenue, Panania  
ADDRESS : Lot-2 DP-612941

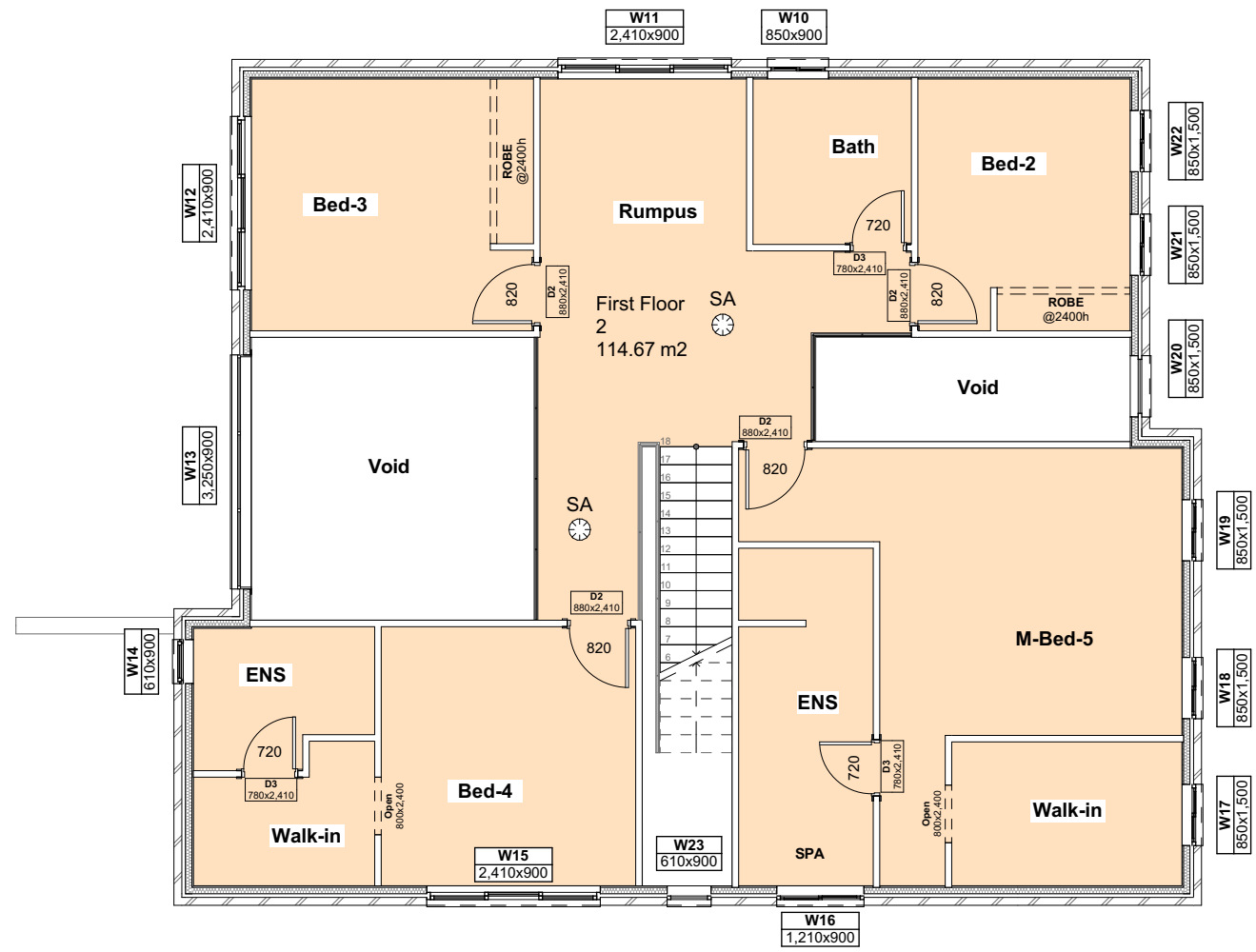
DRAWN BY: Rekha  
SCALE: 1:200  
PAGE SIZE: A3

DATE : 8/03/2025  
APPLICATION : DA  
PAGE NO: 19

PROJECT NO. 2502 813  
ISSUE A



GFA-Ground Floor  
1:100



GFA-First Floor  
1:100



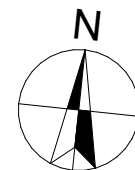
**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.  
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.  
All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212  
design@iedesigns.com.au  
www.iedesigns.com.au



A	8/03/2025	Issue for DA



DRAWING :FSR Calculation

CLIENT : **Minakshi Sharma & Ashwani K Sharma**  
PROJECT : **DOUBLE STOREY DWELLING**  
PROPOSED **#120C,Marco Avenue,Panania**  
ADDRESS : **Lot-21 DA-411-2023**  
CURRENT **#120A,Marco Avenue,Panania**  
ADDRESS : **Lot-2 DP-612941**

DRAWN BY: **Rekha**  
SCALE: **1:100**  
PAGE SIZE **A3**  
DATE : **8/03/2025**  
APPLICATION : **DA**  
PAGE NO: **20**

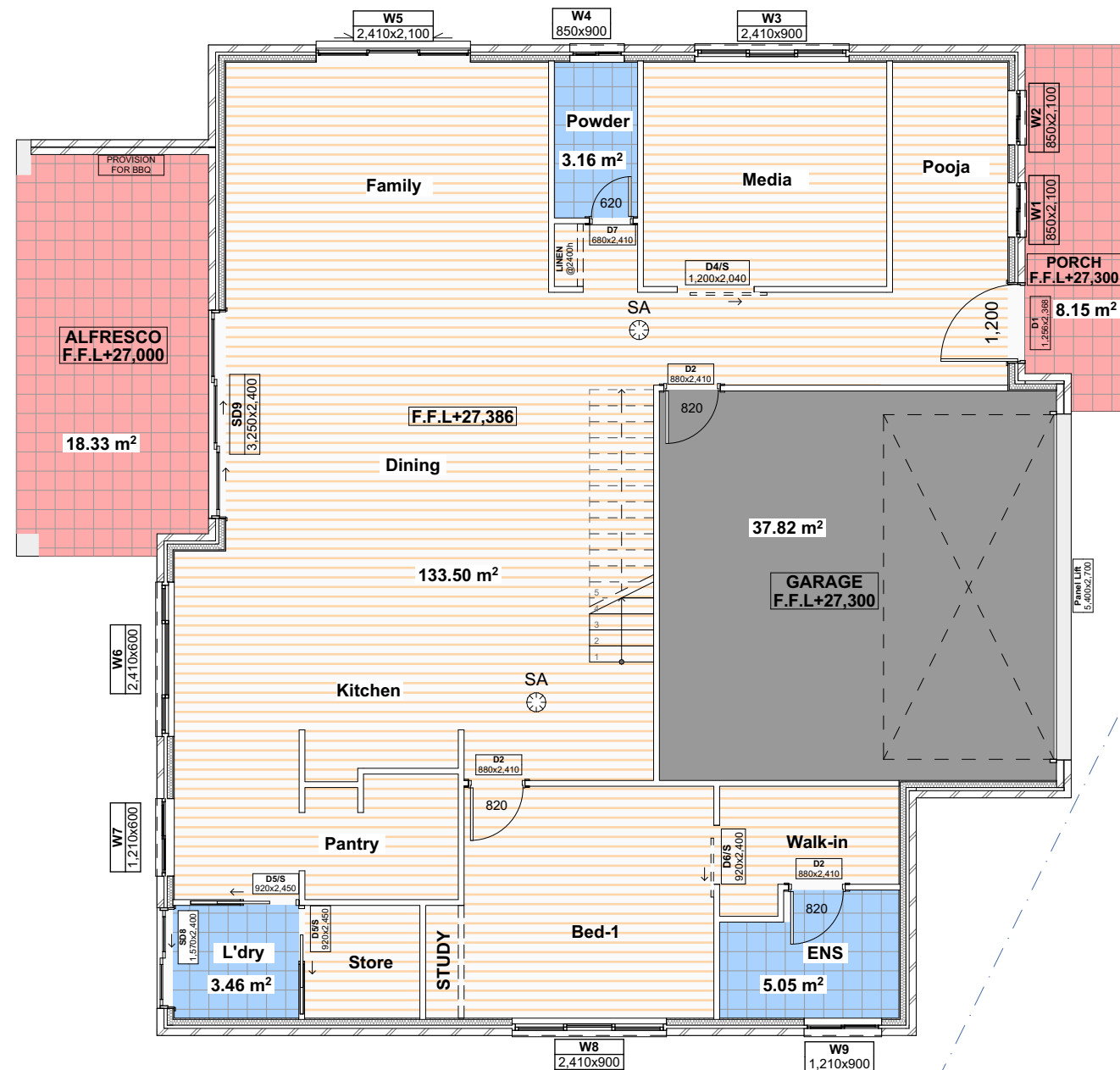
PROJECT NO. **2502 813**  
ISSUE **A**

FOR DA APPROVAL ONLY/NOT FOR CONSTRUCTION





Floor Finish- First Floor  
1:100



Floor Finish- Ground Floor  
1:100



**NOTE**  
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.

All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

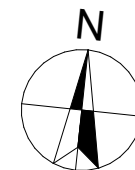
All documents here within are subject to Australian Copyright Laws.



37604191460 ABN  
(02) 8710 3852  
SUITE 7, 4-10 SELEMS PDE  
REVESBY, NSW, 2212  
design@iedesigns.com.au  
www.iedesigns.com.au



A 8/03/2025 Issue for DA



DRAWING : Floor Finish

CLIENT : Minakshi Sharma & Ashwani K Sharma  
PROJECT : DOUBLE STOREY DWELLING  
PROPOSED #120C, Marco Avenue, Panania  
CURRENT #120A, Marco Avenue, Panania  
ADDRESS : Lot-21 DA-411-2023  
ADDRESS : Lot-2 DP-612941

DRAWN BY:  
Rekha  
SCALE:  
1:100  
PAGE SIZE  
A3

DATE :  
8/03/2025  
APPLICATION :  
DA  
PAGE NO:  
21

PROJECT NO.  
2502 813  
ISSUE  
A

LEGEND	
Ref.img	Name
	Indoor Tiles
	Outdoor Tiles
	Concrete finish
	Tile for wet area
	Timber finish

FOR DA APPROVAL ONLY/NOT FOR CONSTRUCTION